

(AMENDMENT BYLAW NO. 2000.19)

**240****CIVIC AND TECHNOLOGY CENTRE****CT-1**

*This zone is intended to provide for uses of an institutional, governmental, cultural, recreational or educational nature which provide services to the public. It also is intended to provide for uses of a technological and support nature.*

**240.1 Permitted Land Uses****Minimum Lot Size**

Accessory Offices	N/A
Accessory Retail Trade and Services	N/A
Accessory Services	N/A
Civic Use	N/A
Communication and Broadcasting and Video Conferencing Facilities	N/A
Convention Facilities	N/A
Day Care Facilities	N/A
Food Catering Facility	N/A
Internet Café	N/A
Park	N/A
Parking	N/A
Public Administration	N/A
Public Utility	N/A
School	N/A
Technological Use	N/A

**240.2 Conditions of Use**

The gross floor area of accessory uses shall not exceed 25% of that of the total floor area.

**240.3 Buildings and Structures****Maximum Number,  
Size and Height**

Height of Buildings	15 metres
---------------------	-----------

- (a) Despite the above, architectural appurtenances such as, but not limited to, clock towers, flag poles, antennas, are exempt from the height restriction.

**240.4 Minimum Building Setbacks:**

Use	Front Lot Line Setback	Rear Lot Line Setback	Exterior Lot Line Setback	Interior Lot Line Setback
Principal Building	7.5 m	7.5 m	7.5 m	7.5 m

**240.5 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this Bylaw.

**240.6 Off-Street Parking and Loading:**

Off-street parking and loading shall be provided according to Division 400 of this Bylaw.

**240.7 Maximum Lot Coverage:**

The maximum lot coverage is 60%.

**240.8 Other Requirements:**

The maximum Floor Area Ratio is 1.0.

(AMENDMENT BYLAW NO. 2000.19)

**241 CIVIC CENTRE RESIDENTIAL  
TOWNHOUSE ZONE**

**RS-4**

*This zone is intended to provide medium density townhouses and stacked townhouses, which could be oriented to seniors, students or housing for employees of hi-tech industries.*

**241.1 Permitted Land Uses****Minimum Lot Size**

Accessory Health Clinic	1,800 m <sup>2</sup>
Apartment Hotel	1,800 m <sup>2</sup>
Assisted Living Facility	1,800 m <sup>2</sup>
Community Care Facility	1,800 m <sup>2</sup>
Congregate Care Facility	1,800 m <sup>2</sup>
Home Based Business (AMENDMENT BYLAW NO. 2000.78)	N/A
Home/Work	N/A
Private Health Club	N/A
Recreation Facilities	N/A
Student Housing	1,800 m <sup>2</sup>
Technology Support Facility	N/A
Townhouses	1,800 m <sup>2</sup>

**241.2 Conditions of Use**

1. Technology support facilities may not exceed 10% of the gross floor area of a building.
2. Home/work areas must be within a residential unit and must not exceed 25% of the gross floor area of the unit.
3. Private health clubs may not exceed more than 10% of the gross floor area of the building in which they are located.
4. Accessory health clinics may not exceed more than 30% of the gross floor area of the building in which they are located.

**241.3****Buildings and Structures****Maximum Height**

Assisted Living Facility	14 m
Congregate Care Facility	14 m
Apartment	14 m
Student Housing	14 m
Apartment Hotel	14 m
Height of Accessory Buildings and Structures	5.0 m

**241.4 Density:**

The maximum density shall not exceed a floor area ratio (FAR) of 0.70, except where underground parking is provided, an amount may be added to the floor area ratio equal to 0.30 multiplied by the ratio of parking spaces provided in the underground parking to the total parking spaces provided, but in no case shall the floor area ratio exceed 1.0.

- (i) Despite the foregoing, a minimum of 5% of the overall parking spaces must be provided above ground.

**241.5 Minimum Building Setbacks:**

Use	Front Lot Line Setback	Rear Lot Line Setback	Exterior Lot Line Setback	Interior Lot Line Setback
Principal Building	4.5 m	6 m	4.5 m	6 m
Accessory Buildings and Structures	6 m	3 m	3 m	6 m

**241.6 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this Bylaw.

**241.7 Off-Street Parking and Loading:**

Off-street parking and loading shall be provided according to Division 400 of this Bylaw.

**241.8 Maximum Lot Coverage:**

The maximum lot coverage permitted is 40%.

**241.9 Height of Fences:**

The maximum height of a fence shall not exceed 1.2 m in any yard.

**241.10 Open Space Recreation Areas:**

- Usable open space recreation areas shall be provided on the lot for each dwelling unit subject to the ratios of 5 square metres for each unit.
- For the purpose of calculating open space recreation area requirements, any indoor recreational space facility provided may be counted as double the actual area.
- Exterior open space recreation areas shall be grassed or landscaped and be designed for the planned occupancy of the building(s) and shall not include storage areas, off-street parking areas or driveways.

(AMENDMENT BYLAW NO. 2000.19)

**242 CIVIC CENTRE RESIDENTIAL  
APARTMENT ZONE**

**RS-5**

*This zone is intended to provide for apartment type or townhouse type buildings, which could be oriented to seniors care, students, or housing for employees of hi-tech industries.*

**242.1 Permitted Land Uses****Minimum Lot Size**

Accessory Health Clinic	1,800 m <sup>2</sup>
Apartment	1,800 m <sup>2</sup>
Apartment Hotel	1,800 m <sup>2</sup>
Assisted Living Facility, subject to the RS-4 Zone	1,800 m <sup>2</sup>
Community Care Facility	1,800 m <sup>2</sup>
Congregate Care Facility	1,800 m <sup>2</sup>
Home Based Business (AMENDMENT BYLAW NO. 2000.78)	N/A
Home/Work	N/A
Private Health Club	N/A
Recreation Facilities	N/A
Student Housing	1,800 m <sup>2</sup>
Technology Support Facility	N/A
Townhouses, subject to the RS-4 Zone	1,800 m <sup>2</sup>

**242.2 Conditions of Use**

1. Technology support facilities may not exceed 10% of the gross floor area of a building.
2. Home/work areas must be within a residential unit and must not exceed 25% of the gross floor area of the unit.
3. Private health clubs may not exceed more than 10% of the gross floor area of the building in which they are located.
4. Accessory health clinics may not exceed more than 30% of the gross floor area of the building in which they are located.

**242.3 Buildings and Structures****Maximum Height**

Apartment	22 m
Apartment Hotel	22 m
Congregate Care Facility	22 m
Student Housing	22 m
Height of Accessory Buildings and Structures	5.0 m

**242.4 Minimum Building Setbacks:**

Use	Front Lot Line Setback	Rear Lot Line Setback	Exterior Lot Line Setback	Interior Lot Line Setback
Principal Building	6 m	6 m	6 m	6 m
Accessory Buildings and Structures	6 m	3 m	3 m	6 m

**242.5 Density:**

The maximum density shall not exceed a floor area ratio (FAR) of 1.0, except where underground parking is provided. An amount may be added to the floor area ratio equal to 0.40 multiplied by the ratio of parking spaces provided in the underground parking to the total parking spaces provided, but in no case shall the floor area ratio exceed 1.40.

**242.6 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this Bylaw.

**242.7 Off-Street Parking and Loading:**

Off-street parking and loading shall be provided according to the general requirements of Division 400 of this Bylaw.

**242.8 Maximum Lot Coverage:**

The maximum lot coverage permitted is 35%.

**242.9 Height of Fences:**

The maximum height of a fence shall not exceed 1.2 m in any yard.

**242.10 Open Space Recreation Areas:**

1. Usable open space recreation areas shall be provided on the lot for each dwelling unit, subject to the ratios of 5 square metres for each unit.
2. For the purpose of calculating open space recreation area requirements, any indoor recreational space facility provided may be counted as double the actual area.
3. Exterior open space recreation areas shall be grassed or landscaped and be designed for the planned occupancy of the building(s) and shall not include storage areas, off-street parking areas or driveways.

**243 RESORT AREA TOURIST  
ACCOMMODATION ZONE**

**RA-1**

*This zone is intended to provide for tourist accommodation and ancillary services in a resort area setting.*

**243.1 Permitted Land Uses**

Campgrounds
Parking
Recreation Facilities
Tourist Accommodation
Accessory Resort Employee Housing

**243.2 Minimum Lot Size:**

The minimum site area shall not be less than 1 ha.

**243.3 Conditions of Use:**

The maximum stay in any room or unit of tourist accommodation shall not exceed 180 days per person, concurrent or non-consecutive, within one calendar year.

**243.4 Minimum Building Setbacks:**

1. The minimum setback from front, rear, and exterior lot lines shall be 10 metres.
  - (i) Despite the above, the setback from the lot line adjacent to Highway 19 shall be 23 metres.
2. The minimum setback from interior lot lines shall be 5 metres.

**243.5 Height:**

The maximum height shall be 11 metres.

**243.6 Maximum Lot Coverage:**

The maximum lot coverage is 30%.

**243.7 Maximum Floor Area Ratio:**

The maximum floor area ratio is .50.

**243.8 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this bylaw.

**243.9 Off-Street Parking and Loading**

Off-street parking and loading shall be provided according to Division 400 of this bylaw.

**244 CARE HOUSING****RC-1**

*This zone is intended to provide for residential housing that has some aspect of care offered.*

**244.1 Permitted Land Uses:**

Assisted Living Facility
Community Care Facility
Congregate Care Facility
Accessory Care Facilities
Accessory Recreation Facilities

**244.2 Minimum Lot Size:**

The minimum lot size shall not be less than 2000 square metres.

**244.3 Maximum Height:**

The maximum building height shall not exceed 11 metres.

**244.4 Minimum Building Setbacks:**

The minimum setback from all lots lines shall be 6.0 metres.

**244.5 Maximum Lot Coverage:**

The maximum lot coverage shall not exceed 50%.

**244.6 Maximum Floor Area Ratio:**

The maximum floor area ratio shall not exceed 1.0.

**244.7 Off-Street Parking and Loading:**

Off-street parking and loading shall be provided according to Division 400 of this Bylaw.

(AMENDMENT BYLAW NO. 2000.75)

**245 RESORT AREA TOURIST  
ACCOMMODATION**

**RA-2A**

*This zone is intended to provide for tourist accommodation, recreation and ancillary services in a resort area setting.*

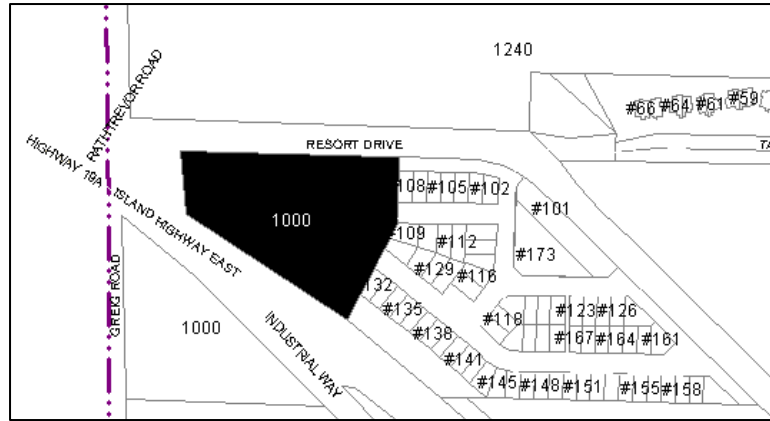
**245.1 Permitted Land Uses:**

Campgrounds
Conference Centres
Cultural Centres
Art Galleries
Health Spas
Museums
Parking
Specialty Retail
Recreation Facilities
Accessory Restaurants
Tourist Accommodation
Miniature Golf Course (AMENDMENT BYLAW NO. 2000.70)
Accessory Convenience Stores
Accessory Resort Employee Housing

**245.2 Site Specific Permitted Land Uses:**

In addition to the permitted land uses specified in Section 245.1 of this zone, **Fairground** and **Amusement Arcade or Games Room** are permitted land use on a site specific basis only on the property legally described as Lot A District Lot 123 Nanoose District Plan VIP75416 (1000 Resort Drive) shown shaded black on the sketch plan marked Schedule "A" attached to and forming part of this bylaw.

### Schedule "A" of Bylaw No. 2000.75



#### 245.3 Minimum Lot Size:

The minimum lot size shall not be less than 2000 m<sup>2</sup>.

- (I) Despite the above, individual parts of an overall development may be the subject of strata title subdivision.
- (a) Where bare land strata lots are created, the minimum lot size shall not be less than 150 sq. m.

#### 245.4 Conditions of Use:

1. "Drive through" service is expressly prohibited for all uses.
2. The maximum stay in any room or unit of tourist accommodation shall not exceed 180 days per person, concurrent or non-consecutive, within one calendar year.
3. Convenience stores shall not exceed 140 m<sup>2</sup> or 10% of the gross floor area of all tourist accommodation on site, whichever is greater.
4. Specialty retail shall not exceed 500 m<sup>2</sup> or 20% of the gross floor area of all tourist accommodation on site, whichever is greater.

#### 245.5 Minimum Building Setbacks:

1. The minimum setback from front, rear and exterior lot lines shall be 10 metres.
  - i) Despite the above, the setback from the lot line adjacent to Highway 19A shall be 23 metres.
2. The minimum setback from interior lot lines shall be 5 metres.

**245.6 Density:**

Accessory resort employee housing shall not exceed 5 dwelling units per hectare.

**245.7 Maximum Lot Coverage:**

The maximum lot coverage is 30%.

- (i) Despite the above, the maximum coverage for bare land strata lots is 50%.

**245.8 Maximum Floor Area Ratio:**

The maximum floor area ratio is .5.

- (i) Despite the above, the maximum floor area ratio for bare land strata lots is .8.

**245.9 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this bylaw.

**245.10 Off-Street Parking and Loading**

Off-street parking and loading shall be provided according to Division 400 of this bylaw.

<b>247</b>	<b>TRANSPORTATION AND RECREATION CORRIDOR ZONE</b>	<b>TR-1</b>
------------	--	-------------

This zone is intended to provide for all types of transportation (car, rail, bicycle, pedestrian) corridors in both a commuter and a recreational setting.

**247.1 Permitted Land Uses:**

Transportation
Linear pathway
Utilities
Railway Terminal
Railway Passenger Station
Bus Shelters
Parking

**247.2 Minimum Lot Size:**

The minimum lot size shall not be less than 2 ha.

**247.3 Conditions of Use:**

1. The transportation of dangerous cargo shall be restricted in accordance with *Transport of Dangerous Goods Act*.
2. Buildings are expressly prohibited, excepting unmanned utilities kiosks, railways terminals, bus shelters, public washrooms, or railway passenger stations.
3. The maximum fence height is 2 metres.

**247.4 Minimum Building Setbacks:**

No building or structure shall be located closer than 7.5 metres to any lot line.

**247.5 Maximum Building Height**

The maximum building height shall be 9 metres.

**247.6 Maximum Lot Coverage:**

The maximum lot coverage is 30%.

**247.7 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this bylaw.

**247.8 Off-Street Parking and Loading**

Off-street parking and loading shall be provided according to Division 400 of this bylaw.

<b>248</b>	<b>MIXED WATERFRONT COMMERCIAL – RESIDENTIAL ZONE</b>	<b>MWC-1</b>
------------	---	--------------

*This zone is intended to provide for tourist accommodation, a range of tourist-oriented activities and some permanent residential use.*

#### **248.1 Permitted Land Uses**

Art Galleries
Conference Centres
Cultural Centres
Hotel
Liquor Store
Multiple Family Residential
Museum
Neighbourhood Pub
Outdoor Recreation
Parking
Personal Services
Recreation Facility
Resort Condominiums
Restaurant
Retail
Sports Equipment and leisure oriented Rentals
Tourist Information Booth

#### **248.2 Minimum Lot Size:**

The minimum lot size shall not be less than 464 m<sup>2</sup>.

- (1) Despite the above, strata lots are not subject to a minimum lot size.

#### **248.3 Conditions of Use:**

1. The maximum stay in any room or unit of tourist accommodation, resort condominium or hotel, shall not exceed 180 days per person, concurrent or non-consecutive, within one calendar year.
2. Multiple family residential uses shall not exceed 50% of the total floor area ratio permitted on the site.

3. Multiple family residential shall not be the predominant use adjacent to the waterfront lot line for the site for a distance of more than 30% of that lot line.
4. No one retail store shall exceed 500 square metres.

#### **248.4 Minimum Building Setbacks:**

1. The following setbacks are applicable to the site, prior to subdivision.
  - (1). The minimum setback from a front lot line shall be 3 metres.
    - (i) Despite the above, where the front lot line abuts Highway 19A the maximum setback shall be 7.5 metres.
  - (2). The minimum setback from the exterior lot line shall be 0 metres.
    - (i) Despite the above, where the exterior lot line abuts Highway 19A the maximum setback shall be 7.5 metres.
  - (3). The minimum setback from an interior lot line shall be 3 metres.
  - (4). The minimum setback from the rear lot line shall be 3 metres.
  - (5). The minimum setback from the lot line adjacent to the waterfront lot line shall be 25 metres.

#### **248.5 Maximum Building Height**

The maximum building height shall be 39 metres.

#### **248.6 Maximum Site Coverage:**

The maximum site coverage is 50%.

#### **248.7 Maximum Site Floor Area Ratio:**

The maximum site floor area ratio is 1.1:1.

#### **248.8 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this bylaw.

#### **248.9 Off-Street Parking and Loading**

Off-street parking and loading shall be provided according to Division 400 of this bylaw.