

**232****COMPREHENSIVE DEVELOPMENT****CD-12****232.1 Statement of Intent:**

This zone is intended to accommodate and regulate development of a shopping centre as an integrated unit, based on a comprehensive plan and regulations contained herein. The CD-12 Zone is further divided into zones designated CD-12A, CD-12C, CD-12D, CD-12E, CD-12F, CD-12G and CD-12H as shown on Schedule "2", attached to and forming part of this Bylaw. Except otherwise provided, all regulations in this Section apply to land within all of the CD-12A through CD-12H Zones.

**Definition:**

In this Section, "Single Retail or Service Outlet" means one retail sales outlet, financial institution, restaurant, fast food outlet, or gasoline service station, with no outside storage of any material other than garden centre materials and includes drive-through uses.

In this Section, "Shopping Mall" means a group of sales and service outlets, including retail store, personal service, amusement arcade, office, recreation facility or restaurant, having a floor area not exceeding 30,000 square metres, and may be contained in more than one building. In this Section, "Multiplex Arena" means a recreation facility which predominantly consists of ice sheets, but which may include ancillary facilities.

**232.2 Permitted Uses:**

- a) Shopping Mall
- b) Single Retail or Service Outlet
- c) Accessory Off-Street Parking
- d) Offices (AMENDMENT BYLAW NO. 2000.46)

**232.3 Minimum Site Area:**

The following minimum site areas are required:

Shopping Mall	70,000 square metres
Single Retail or Service Outlet	3,500 square metres
Multiplex Arena`	12,000 square metres

**232.4 Specific Use Regulations:**

- a) Office space for use by doctors, dentists, lawyers, accountants and similar professional practices shall not exceed a combined total of 1,115 square metres and may be located only within the principle mall structure in the CD-12A Zone, and not in any of the CD-12C through CD-12H Zones.
- b) An X-Ray clinic or Regional Medical Diagnostic Facility shall not be permitted in any of the CD-12 Zones.
- c) Outside storage of garden centre materials, other than plant materials, shall be screened from view from highways and parking areas.

- d) Within the CD-12 Zones an amusement arcade shall only be permitted within an enclosed shopping mall forming part of a shopping mall use.

**232.5 Maximum Density:**

- a) All buildings and structures combined shall not exceed a mall site coverage of 35%.
- b) The total gross building area of all buildings and structures within the CD-12A through CD-12H Zones combined shall not exceed 29,792.0 square metres.
- c) In each of the CD-12C through CD-12H Zones a maximum of two buildings with a combined floor area of 400 square metres is permitted, provided that no building shall be constructed with more than three (3) metres separation from another building in the same zone.

**232.6 Height of Buildings and Structures:**

- a) All buildings and structures shall have a maximum height of eleven (11) metres.
- b) Building and structure height shall be measured from the natural grade adjoining the building.
- c) Building and structure height shall be measured to:
  - (i) the top of flat roofs;
  - (ii) the midpoint of sloping roofs.
- d) Mechanical appurtenances, chimneys and decorative projections shall not be included in building height measurements.

**232.7 Setbacks:**

- a) All buildings and structures shall have a minimum setback of eight (8) metres from Highway #19A.
- b) All buildings and structures shall have a minimum setback of 4.5 metres from Wembley Road and Church Road.
- c) All buildings and structures shall have a minimum setback of four (4) metres from any parcel boundary.
  - (i) Despite the above, the multiplex arena may have a minimum setback of zero (0) metres.

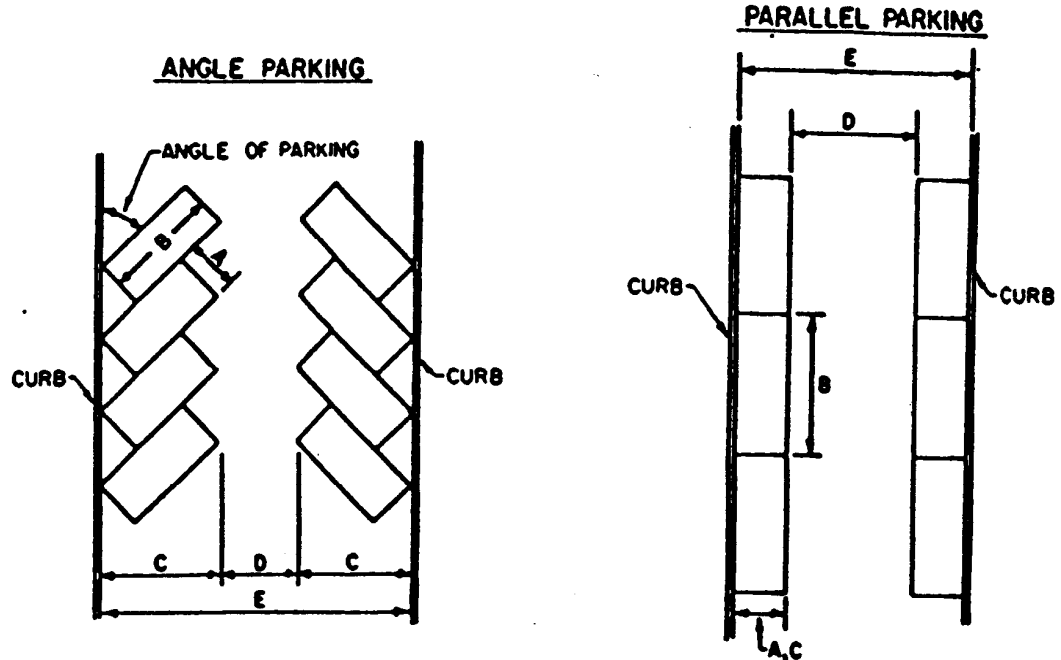
**232.8 Landscaping:**

When any building or structure is erected, enlarged or increased in capacity, landscaping shall be provided as follows:

- a) All land within that zone not occupied by buildings, structures, parking, open storage, driveways and walkways shall be landscaped, provided that landscaping shall not cover less than two (2) percent of developed site area.
- b) Existing landscaped perimeters and existing landscaping shall be excluded from the calculation of requirements under clause (a).
- c) All required landscaping shall be in accordance with a landscaping plan prepared by a registered British Columbia Landscape Architect and filed with the jurisdiction having authority prior to commencement of construction of any building.
- d) Notwithstanding clause (c), landscaping depths for those portions of land fronting on Highway #19A already developed shall not be reduced.

**232.9 Off-Street Parking and Loading Requirements:**

- a) Off-street parking shall be provided at a rate of 5.1 stalls per 100 square metres of gross floor area.
  - (i) Despite the above, parking for the multiplex arena shall be provided at a rate of one (1) stall per eighty (80) square metres of gross floor area.
- b) Required off-street parking shall be constructed and available for use at the time of occupancy of a building or a structure.
- c) Magazine storage shall be provided in all parking area.
- d) The minimum parking space and aisle dimensions shall be in accordance with the following:

(i) **PARKING SPACE AND AISLE DIMENSIONS:**

ANGLE	SPACE WIDTH A	SPACE LENGTH B	SPACE DEPTH TO CURB-0	AISLE WIDTH D	MODULE E	TRAFFIC DIRECTION
30°	2.7 m	5.2 m	5.2 m	3.5 m	14.0 m	1-way
45°	2.7 m	5.2 m	6.0 m	4.0 m	16.0 m	1-way
60°	2.7 m	5.2 m	6.4 m	5.5 m	18.2 m	1-way
90°	2.7 m	5.8 m	5.8 m	7.5 m	19.1 m	1 or 2-way
PARALLEL PARKING	2.5 m	7.0 m	2.5 m	4.0 m	9.0 m	1-way
	2.5 m	7.0 m	2.5 m	7.5 m	12.5 m	2-way

(ii) **PARKING SPACE FOR HANDICAPPED**

One space, a minimum of 4.0 metres in width by 6.0 metres in length, for the first twenty off-street parking spaces or portion thereof, plus one additional space the same dimensions for each additional fifty off-street parking spaces or portion thereof.

**232.10 Off-Street Loading:**

- One off-street loading space shall be provided for every 4,000 square metres of gross floor area or portion thereof.
- all off-street loading spaces shall be a minimum of nine (9) metres in length and three (3) metres in width, and have a vertical clearance of four (4) metres.

### SCHEDULE "2"



Scale : 1:5000

RDN Map Ref. 17 20, 18 20



**233 COMPREHENSIVE DEVELOPMENT****CD-13****233.1 Statement of Intent:**

This zone is intended to provide for a higher density townhouse development.

**233.2 Permitted Uses:**

The following uses and no others shall be permitted:

- a) Townhouse;
- b) Accessory off-street parking.

**233.3 Maximum Density:**

The maximum number of dwelling units shall not exceed twelve (12).

**233.4 Siting, Shape and Size of Buildings and Structures:**

- a) Parcel Size  
The minimum parcel size shall be 0.30 ha (0.74 acres).
- b) Maximum Floor Area  
The maximum floor area shall be as shown on the typical floor plans attached as Schedules "D" and "E" and forming part of this bylaw.
- c) Lot Coverage  
Buildings and structures shall not exceed a lot coverage as shown on the Site Development Plan attached as Schedule "B" and forming part of this bylaw.
- d) Height  
The maximum height of buildings and structures shall be as shown on the elevations and sections attached as Schedules "D" and "E" and forming part of this bylaw.
- e) Setbacks  
Buildings and structures shall be sited as shown on the Site Development Plan attached as Schedule "B" and forming part of this bylaw.

**233.5 Open Site Area Requirements:**

Open site area shall be provided as shown on the Site Development Plan attached as Schedule "B" and forming part of this bylaw.

**233.6 Landscaping Provisions:**

All open space areas shall be landscaped as shown on the Landscape Plan attached as Schedule "C" and forming part of this bylaw.

**233.7 Design Requirements:**

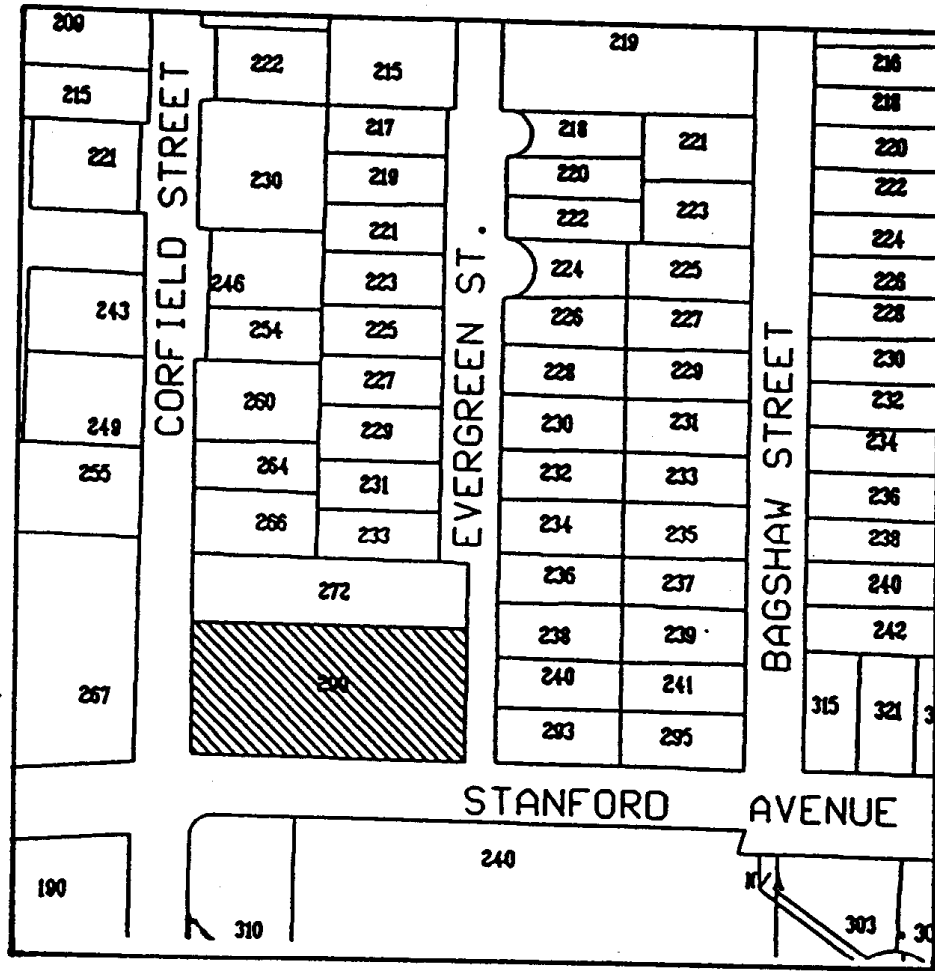
- a) All buildings and structures shall be constructed to the standards set out in the *British Columbia Building Code*.
- b) The facade and exterior finishes of buildings and structures shall be as shown on the elevation plans attached as Schedules "D" and "E" and forming part of this bylaw.

**233.8 Signs:**

A maximum of two (2) identification signs not to exceed 1 m<sup>2</sup> (10.76 sq. ft.) in size each shall be permitted.

**233.9 Off-Street Parking Requirements:**

Off-street parking shall be provided as indicated on the Site Development Plan attached as Schedule "B" and forming part of this bylaw.

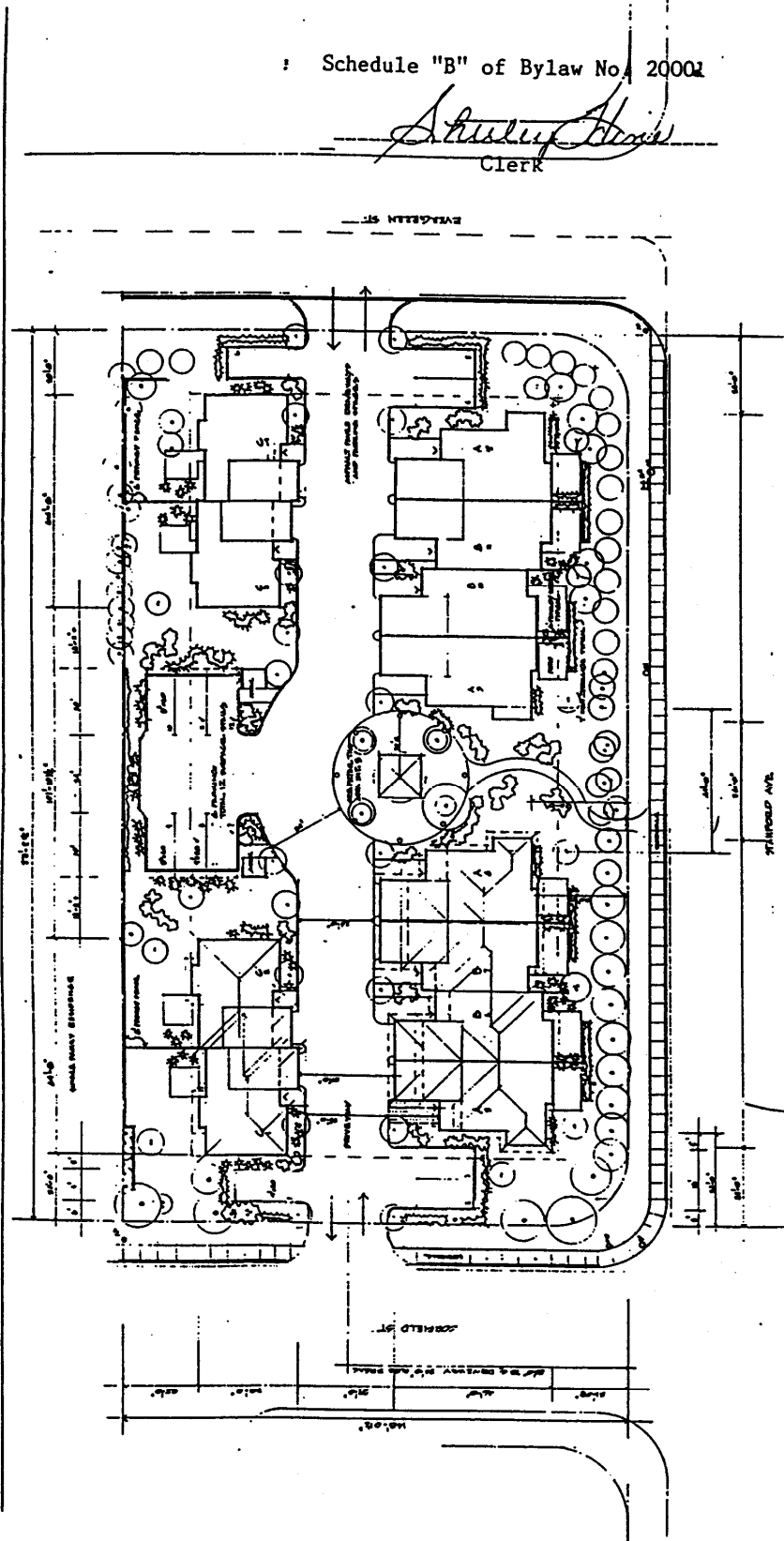


Schedule "A-3" of Bylaw No. 2000.1

*Sherley Hines*  
Clerk

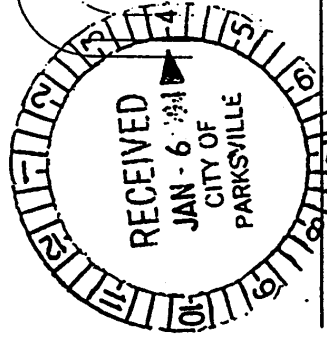
Schedule "B" of Bylaw No. 20002

*Stacy Harris*  
Clerk



**PROPOSED SITE DEVELOPMENT PLAN**  
 PREPARED BY: M.W. (M) ARCHITECTS, INC., 1000 W. 10TH AVE., SUITE 100, DENVER, CO 80202  
 PROJECT: 1000 W. 10TH AVE., SUITE 100, DENVER, CO 80202  
 PREPARED FOR: [Client Name]

DATE: 1/11/11  
 SCALE: AS SHOWN  
 SHEET NO. 1 OF 1  
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM M.W. (M) ARCHITECTS, INC.



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 1000 W. 10TH AVE., SUITE 100  
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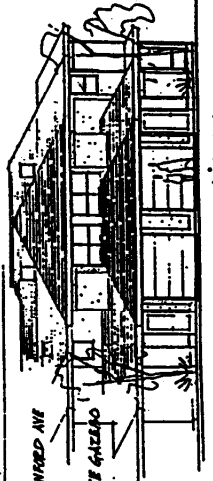
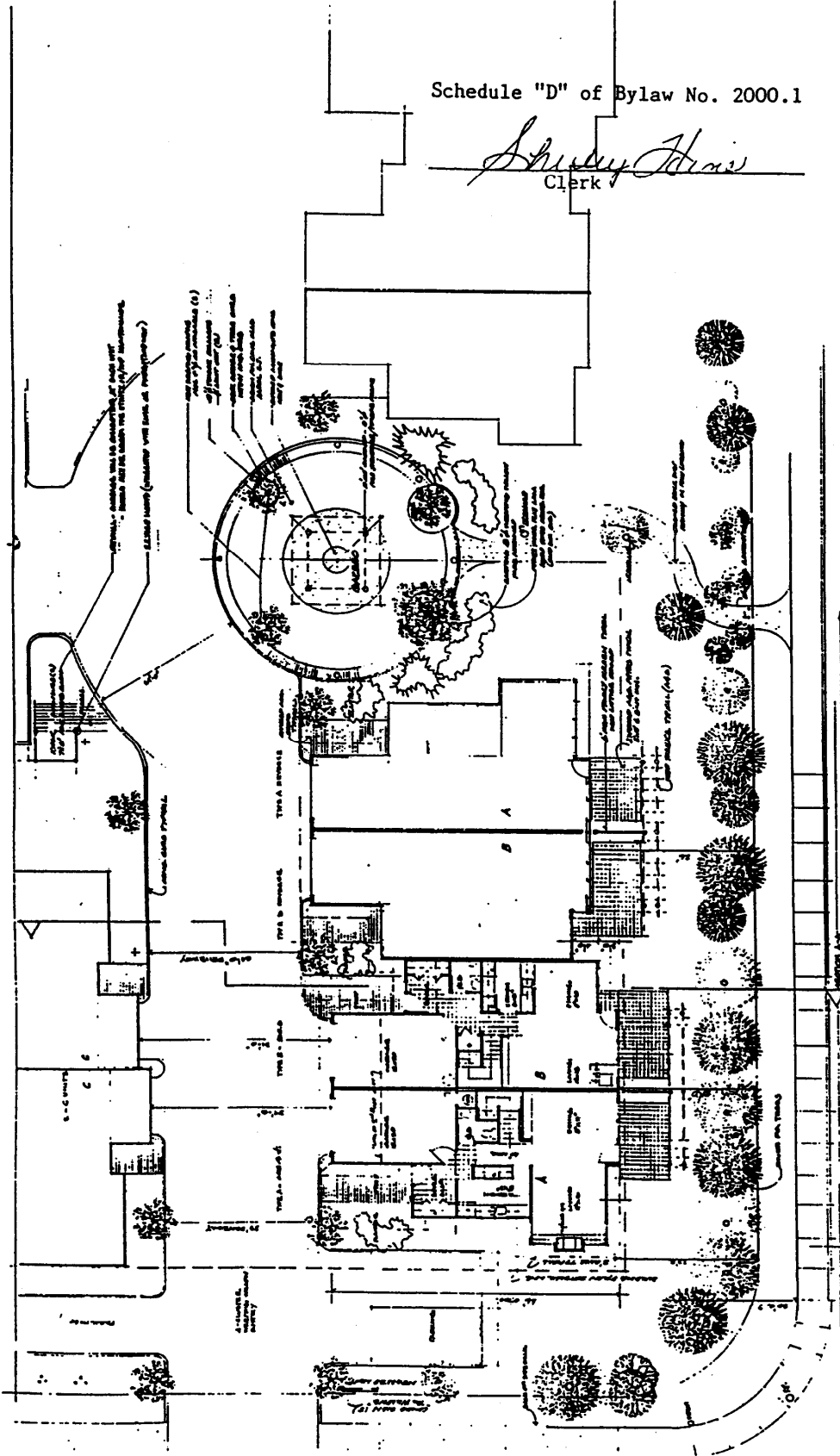
Schedule "D" of Bylaw No. 2000.1

*Shirley Davis*  
Clerk

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**MUTARCOV ARCHITECT**

345



PARTIAL NORTH ELEVATION A10 UNITS

DETAIL PARTIAL PLAN A10 UNITS INDICATING CENTRAL OPEN SITE AREA

Arch

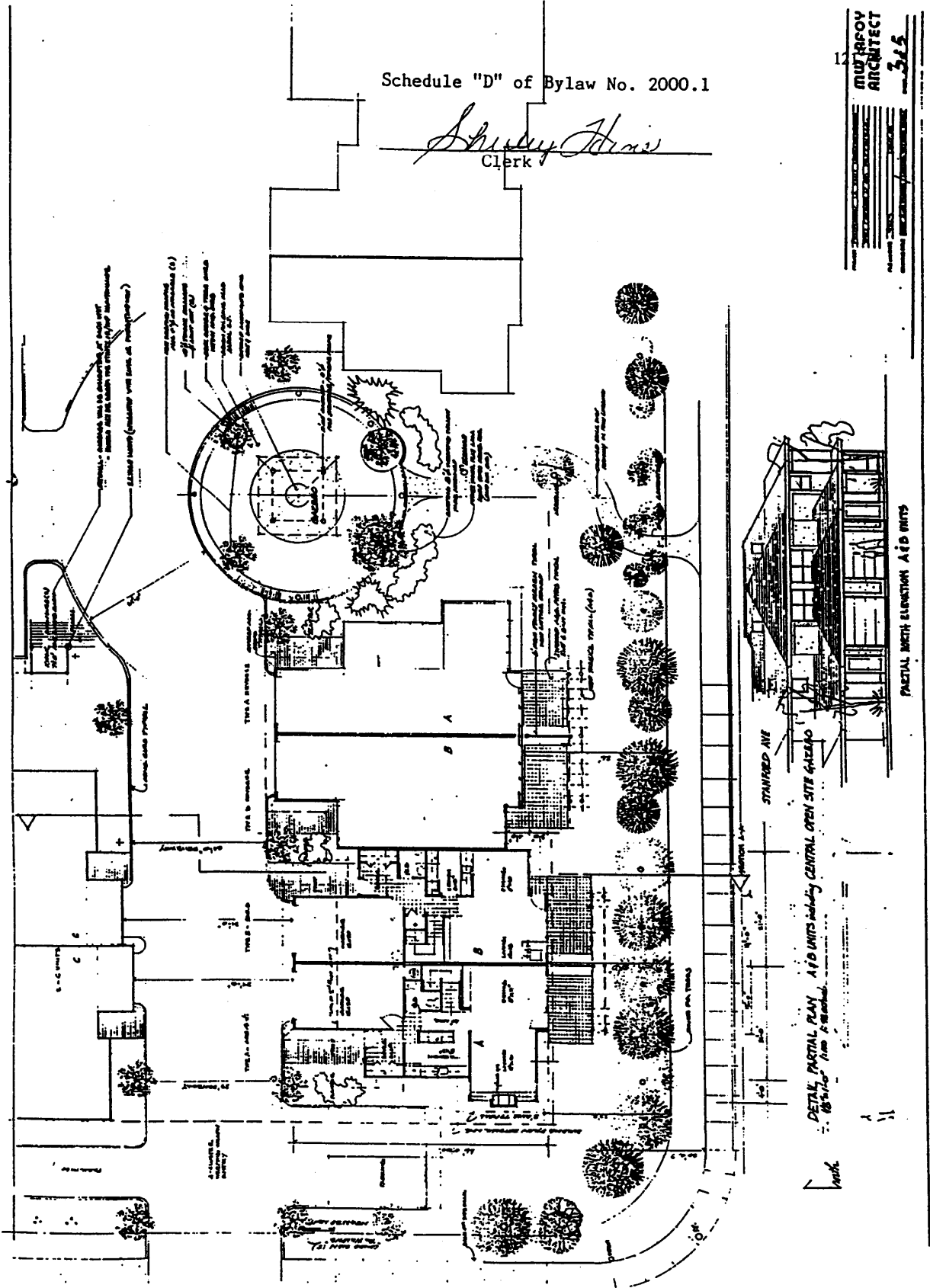
Schedule "D" of Bylaw No. 2000.1

*Shirley Davis*  
Clerk

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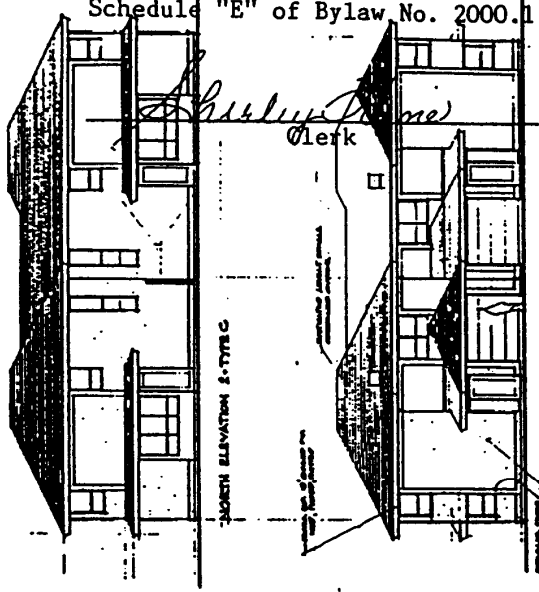
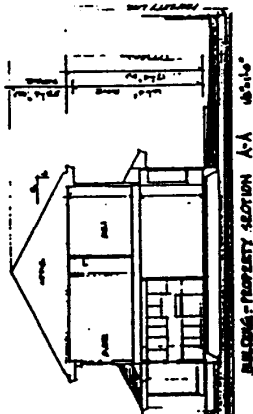
**MUTARCOV ARCHITECT**

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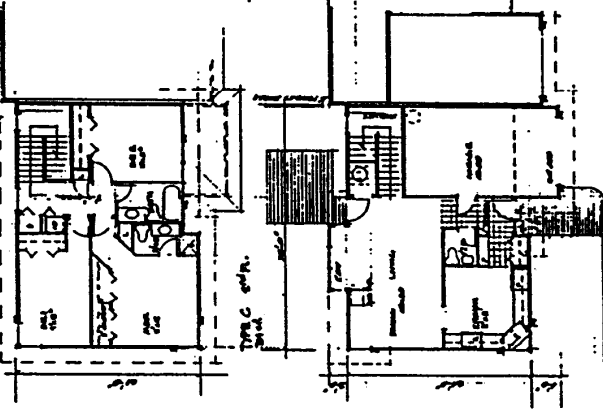


Schedule "E" of Bylaw No. 2000.1

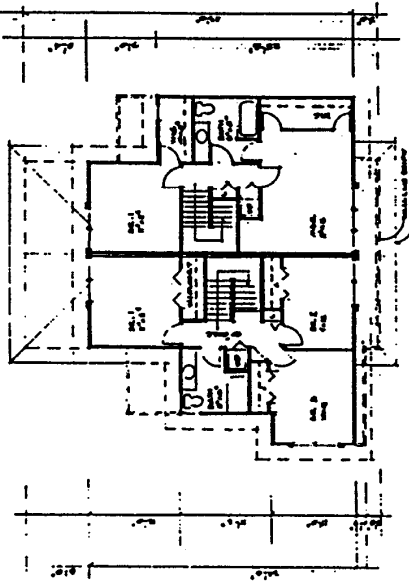
*Shelley Jones*  
Clerk



SOUTH ELEVATION 2-TYPE C 1/8\"/>

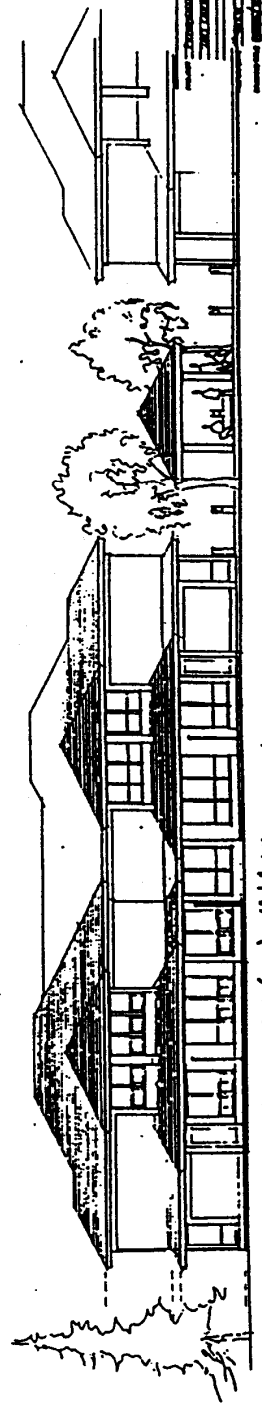


TYPE C 2nd fl. 1/8\"/>



TYPE B 2nd fl. 1/8\"/>

STANFORD AVE.



WESTERN ELEVATION 2-TYPE C 1/8\"/>

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MURRAY ARCHITECT

445

**234 COMPREHENSIVE DEVELOPMENT****CD-14****234.1 Statement of Intent**

Provides for innovative comprehensive residential development.

**234.2 Permitted Uses**

The following uses and no others shall be permitted:

- a) residential single family;
- b) residential multi family;
- c) uses accessory to residential uses;
- d) Home Based Business (AMENDMENT BYLAW NO. 2000.78);
- e) day care centre.

**234.3 Maximum Residential Density**

- a) The maximum number of dwelling units in the entire CD-14 Zone shall not exceed 171.
- b) The maximum number of dwelling units in the entire CD-14 Zone in apartments shall not exceed 61 in a maximum of three buildings.

**234.4 Siting, Shape and Size of Buildings and Structures****a) Siting of Buildings**

All buildings and structures shall be sited in conformity with the Site Plan attached as Schedule "B" and forming part of this bylaw.

**b) Setbacks**

- (i) all buildings and structures shall have a minimum setback of 10 metres from Highway No. 19 (Island Highway) and 5.0 metres from Stanhope Road;
- (ii) all buildings and structures shall have a minimum setback of 6 metres from all lot lines adjoining a parcel of land that is not located in CD-14 Zone.

**c) Maximum Floor Area**

The maximum floor area of individual dwelling units shall conform to the Floor Plans attached as Schedules "C" and "D" and forming part of this bylaw.

**d) Shape of Buildings**

The design of all buildings and structures shall conform to the Elevations as shown on the attached Schedules "C" and "D" and forming part of this bylaw.

- e) Height
- (i) the maximum height of the apartment buildings shall not exceed 11 metres;
  - (ii) the maximum height of the single family residential buildings shall not exceed 7.5 metres;
  - (iii) the maximum height of accessory buildings shall not exceed 4 metres.

#### **234.5 Open Site Area Requirements**

Open site area shall be provided in conformity with the Site Plan attached as Schedule "B" and forming part of this bylaw.

#### **234.6 Landscaping Provisions**

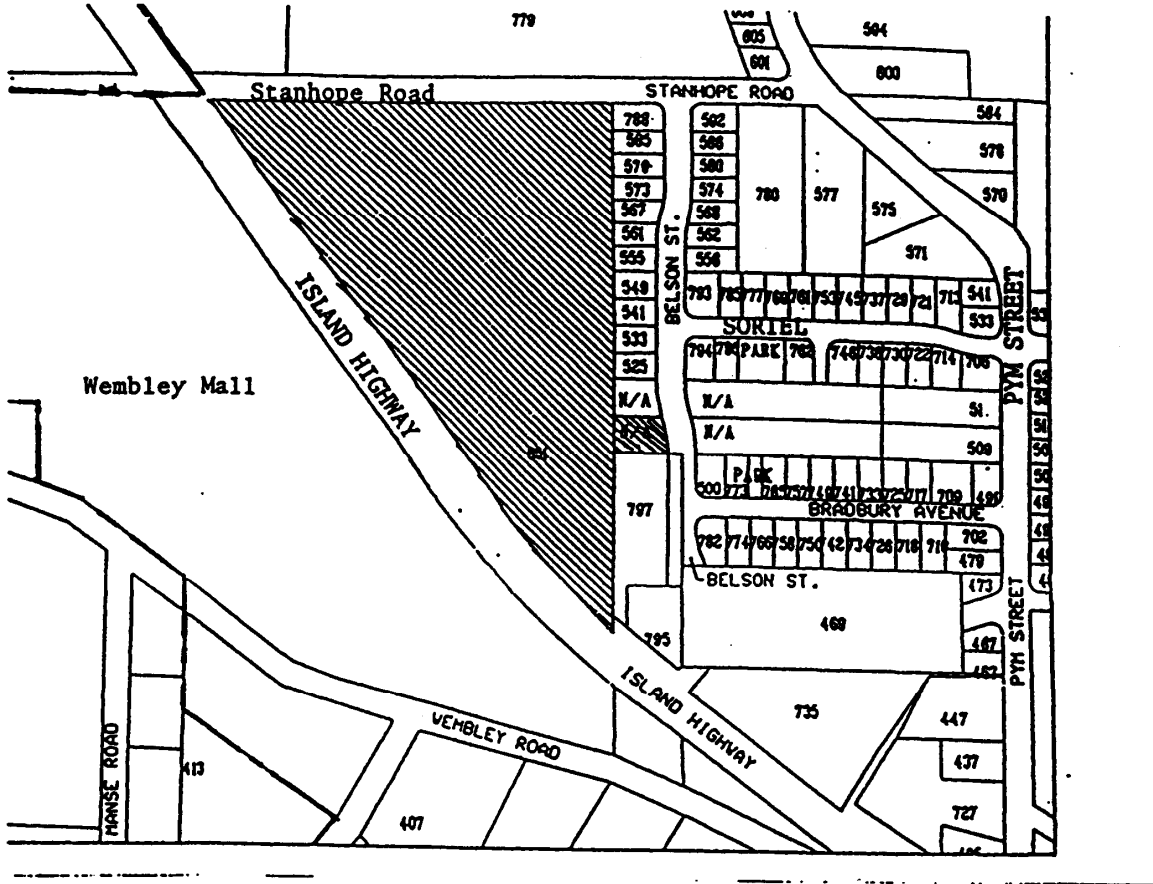
All open site areas shall be landscaped.

#### **234.7 Refuse Removal Provisions**

An enclosed refuse removal area shall be provided for each multiple family residential building.

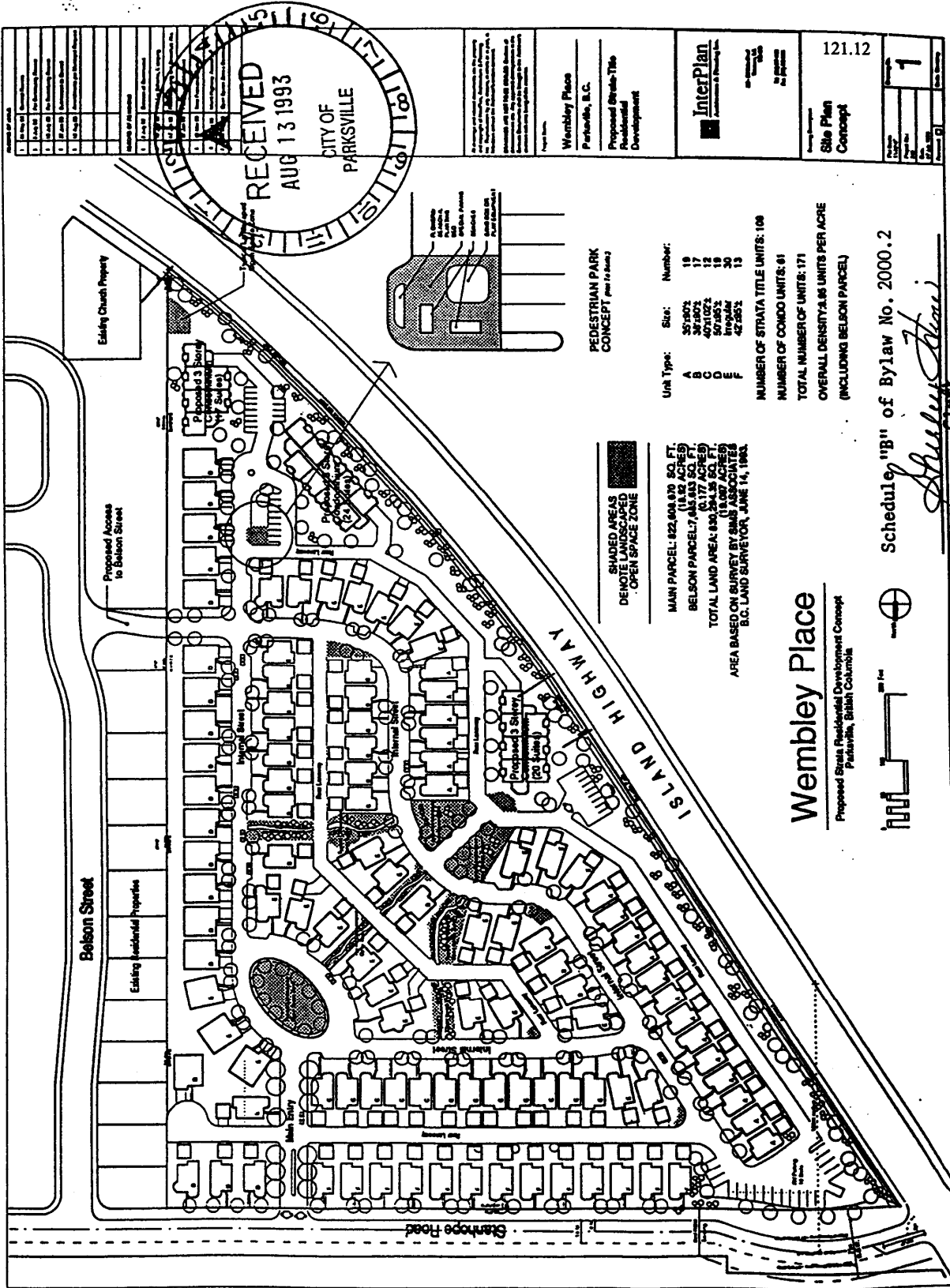
#### **234.8 Off-Street Parking Requirements**

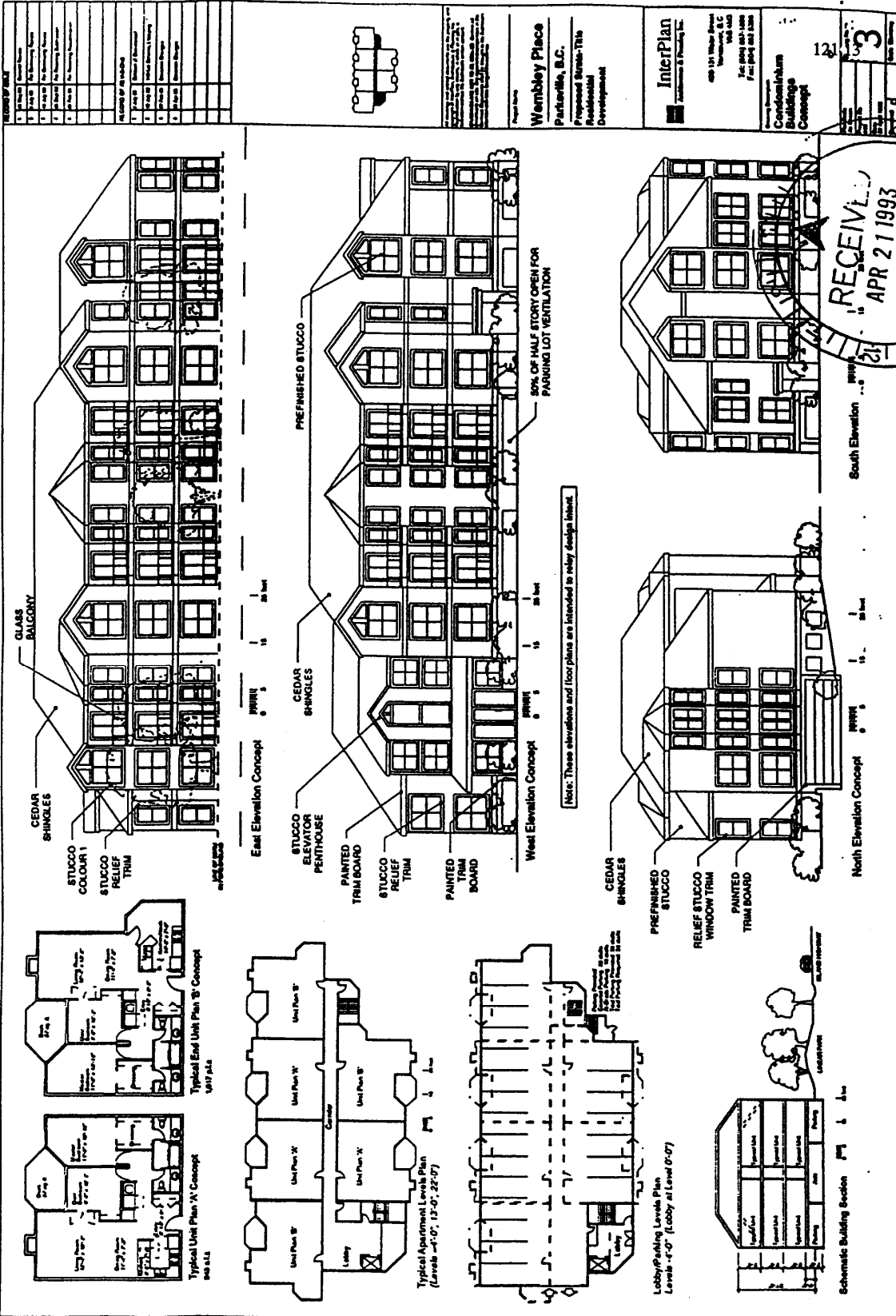
Off-Street Parking shall be provided in accordance with Division 400 of this Bylaw.



Schedule "A" of Bylaw No. 2000.2

*Shirley Jones*  
 Clerk





Schedule "C" of Bylaw No. 2000.2

*Shelley Lane*



(AMENDMENT BYLAW NO. 2000.11)

**235 COMPREHENSIVE DEVELOPMENT****CD-15**

*This zone is intended to provide for a commercial recreation complex in the Parksville Industrial Centre.*

**235.1 Permitted Land Uses: Minimum Lot Size**

Recreation Facility	2,000 m <sup>2</sup>
Accessory Residential	N/A

**235.2 Buildings and Structures: Maximum Number, Size and Height**

Height of Principal Building	11.0 m
Height of Accessory Buildings and Structures	5.0 m
Accessory Residential	1 unit per lot

**235.3 Minimum Building Setbacks:**

Use	Front Lot Line Setback	Rear Lot Line Setback	Exterior Lot Line Setback	Interior Lot Line Setback (a)
Principal Building	9.0 m	5.0 m	7.5 m	5.0 m
Accessory Buildings and Structures	9.0 m	1.2 m	7.5 m	0.6 m

(a) 7.5 metre minimum setback from any lot line abutting a residential zone or railway right of way.

**235.4 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this Bylaw.

**235.5 Off-Street Parking and Loading:**

Off-street parking and loading shall be provided according to Division 400 of this Bylaw.

**235.6 Maximum Lot Coverage in Total: 60%****235.7 Play and Recreation Area Requirements: None.**

**235.8 Other Requirements:**

- (a) Maximum floor area ratio: 0.60
- (b) Accessory uses (excluding Accessory Residential) shall be accessible only from the interior of the building.

(AMENDMENT BYLAW NO. 2000.41)

**236****COMPREHENSIVE DEVELOPMENT****CD-16B**

*This zone is intended to accommodate a mixed use, master-planned neighbourhood development on a site adjacent to Corfield Street and Despard Avenue.*

**236.1 Permitted Land Uses****Minimum Lot Size**

Single Family Dwelling (a)	310 m <sup>2</sup>
Apartment	2000 m <sup>2</sup>
Recreation Facility	500 m <sup>2</sup>
Congregate Care Facility	2000 m <sup>2</sup>
Community Care Facility	2000 m <sup>2</sup>

- (a) includes accessory building

**236.2 Maximum Residential Density**

- (a) Apartment or Congregate Care or Community Care Facility is only permitted on the lot(s) situated north of Despard Avenue.
- (b) The maximum number of dwelling units in the entire CD-16B zone shall not exceed 212.
- (c) The maximum number of dwelling units permitted for each residential use shall be as follows:

<b>Permitted Use</b>	<b>Maximum Number of Dwelling Units</b>
Single Family Dwelling	80
Apartment or Congregate Care or Community Care Facility	120

**236.3 Maximum Floor Area Ratio**

<b>Permitted Use</b>	<b>Maximum Floor Area Ratio</b>
Single Family Dwelling (a)	0.55
Apartment or Congregate Care or Community Care Facility	1.50
Recreation Facility	0.50

- (a) includes accessory building

**236.4 Maximum Building Height**

Permitted Use	Maximum Building Height
Single Family Dwelling	7.5 m
Apartment or Congregate Care or Community Care Facility	14.0 m
Recreation Facility	7.5 m
Accessory Building	4.0 m

**236.5 Maximum Lot Coverage**

Permitted Use	Maximum Lot Coverage
Single Family Dwelling (a)	50 %
Apartment or Congregate Care or Community Care Facility	45 %
Recreation Facility	40 %

(a) includes accessory building

**236.6 Minimum Building Setbacks**

Permitted Use	Minimum Building Setback			
	Front	Rear	Ext. Side	Int. Side
Single Family Dwelling (a)	4.5 m	3.0 m	3.5 m	1.0 m
Apartment or Congregate Care or Community Care Facility	6.0 m	6.0 m	6.0 m	6.0 m
Recreation Facility	3.0 m	3.0 m	3.0 m	3.0 m
Accessory Building (a)	7.5 m	1.2 m	4.5 m	1.5 m

(a) 0.3 m roof overhang permitted

**236.7 Landscaping and Screening and Fencing**

- (1) All open space areas shall be landscaped in accordance with a landscape plan prepared by a registered British Columbia Landscape Architect. Landscape design shall follow the guidelines for Development Permit Area No. 18 in the Official Community Plan.
- (2) Fencing in front or exterior side yards shall not exceed 1.2 metres in height, except for perimeter fencing of the site which may not exceed 2.0 metres in height.

**236.8 Off-Street Parking and Loading**

Off-street parking and loading shall be provided according to Division 400 of this Bylaw.

**236.9 Play and Recreation Area Requirements**

Play and recreation area shall be provided as follows:

- (a) Every apartment development shall provide a minimum of 10 square metres of useable open space per dwelling unit.
- (b) Every apartment development containing thirty (30) or more dwelling units shall provide indoor recreation space in the amount of 2.3 m<sup>2</sup> for each dwelling unit.
- (c) Every congregate care development or Community Care Facility containing thirty (30) or more dwelling units shall provide indoor recreation space in the amount of 1.0 m<sup>2</sup> for each dwelling unit.

**236.10 Refuse Removal Area Requirements**

An enclosed refuse removal area, having minimum dimensions of 3.0 m by 4.0 m, shall be provided for each apartment, recreation facility, Congregate Care, or Community Care Facility building in the CD-16B zone."

(AMENDMENT BYLAW NO. 2000.50)

**237****COMPREHENSIVE DEVELOPMENT****CD-17**

*This zone is intended to provide land for housing high density multiple family residential development or single family dwelling.*

**237.1 Permitted Land Uses****Minimum Lot Size**

Single Family Dwelling	560 m <sup>2</sup>
Duplex	800 m <sup>2</sup>
Multiple Family Residential	2500 m <sup>2</sup>
Home Based Business (AMENDMENT BYLAW NO. 2000.78)	N/A
Secondary Suites	N/A

**237.2 Maximum Residential Density**

<b>Permitted Use</b>	<b>Maximum Number of Dwelling Units (DU)</b>
Single Family Residential	1 dwelling unit per lot
Duplex	1 dwelling unit per lot
Multiple Family Residential	35 dwelling units total in this zone

**237.3 Maximum Floor Area Ratio**

<b>Permitted Use</b>	<b>Maximum Floor Area Ratio</b>
Single Family Residential	1.50
Duplex	1.50
Multiple Family Residential	1.50

**237.4 Maximum Building Height**

<b>Permitted Use</b>	<b>Maximum Building Height</b>
Single Family Residential	7.5 m
Multiple Family Residential	12.0 m
Accessory Buildings & Structures Including Entry Gate Structure	5.0 m

**237.5 Maximum Lot Coverage**

<b>Permitted Use</b>	<b>Maximum Lot Coverage</b>
Single Family Residential	33%
Duplex	33%
Multiple Family Residential	45%
Accessory Buildings & Structures Including Entry Gate Structure	75 m <sup>2</sup>

**237.6 Minimum Building Setbacks**

<b>Permitted Use</b>	<b>Minimum Building Setback</b>			
	<b>Front Lot Line</b>	<b>Rear Lot Line</b>	<b>Exterior Lot Line</b>	<b>Interior Lot Line</b>
Single Family Residential	7.5 m	3.0 m	7.5 m	1.6 m
Duplex	7.5 m	3.0 m	7.5 m	1.6 m
Multiple Family Residential	6.0 m	15.0 m	6.0 m	6.0 m
Accessory Building	7.5 m	1.2 m	7.5 m	0.6 m
Entry Gate Structure as shown on Schedule "A"	0.0 m	20.0 m	20.0 m	20.0 m

**237.7 Siting and Shape of Building and Structures**

- a) All buildings and structures, excluding single family dwelling units and all accessory buildings, shall conform to and be in substantial compliance with the Site Plan attached as Schedule "A" and forming part of this bylaw;
- b) All buildings and structures, excluding single family dwelling units and all accessory buildings, shall conform to and be in substantial compliance with the Elevation Plans attached as Schedule "B" and forming part of this bylaw.

**237.8 Landscaping and Screening and Fencing**

All open space areas shall be landscaped in accordance with a landscape plan prepared by a registered by a registered British Columbia Landscape Architect and shall follow the guidelines of the applicable Development Permit Area to which the property is subject to pursuant to the Official Community Plan.

**237.9 Off-Street Parking and Loading**

<b>Permitted Use</b>	<b>Parking and Loading</b>
Single Family Residential	Off-street parking and loading shall be provided according to Division 400 of this Bylaw.
Multiple Family Residential	Off-street parking and loading shall be provided according to Division 400 of this Bylaw.

**237.10 Height of Fences:**

	<b>The maximum height of Fences shall not exceed:</b>
<b>Front Yard</b>	1.2 m within the front yard
<b>Interior Lot Line</b>	2.0 m within the interior lot line setback except where a fence is within the front yard then the front yard fence height shall apply
<b>Rear Lot Line and Exterior Lot Line</b>	2.0 m

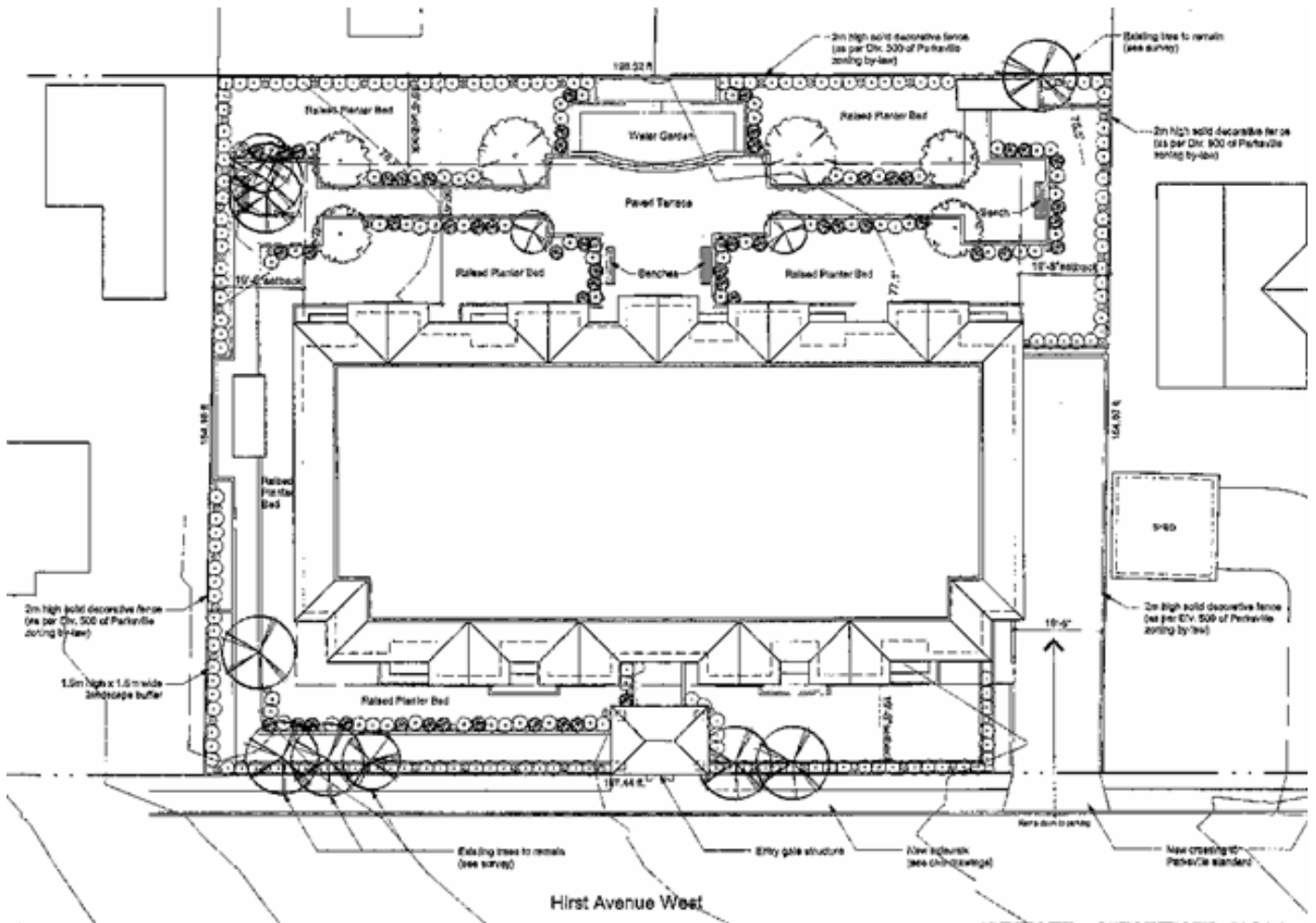
**237.11 Refuse Removal Area Requirements**

All garbage and recycling containers shall be effectively screened from view. "

Schedule "A" of Bylaw No. 2000.50

*[Handwritten Signature]*  
Deputy Clerk

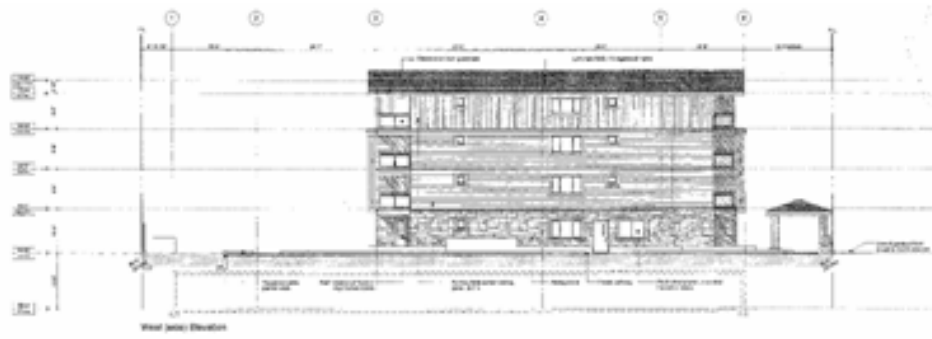
**Site Plan**




Schedule "B" of Bylaw No. 2000.50

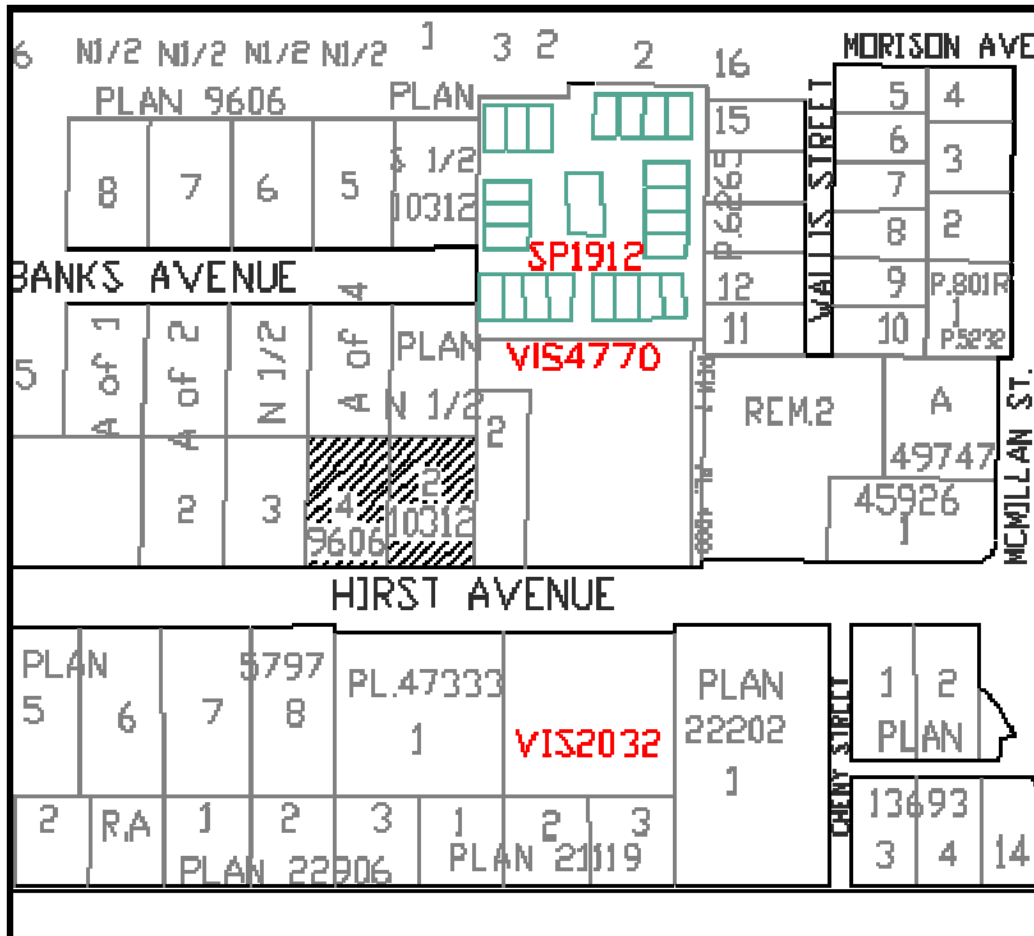
  
Deputy Clerk

**Elevation Plans**



Schedule "C" of Bylaw No. 2000.50

  
 Deputy Clerk



(AMENDMENT BYLAW NO. 2000.15)

**238 COMPREHENSIVE DEVELOPMENT****CD-18**

*This zone is intended to provide for the operation of a preschool facility within an existing single family dwelling.*

**238.1 Permitted Land Uses****Minimum Lot Size**

Single Family Dwelling	560 m <sup>2</sup>
Accessory Preschool Facility (a)	N/A
Home Based Business (AMENDMENT BYLAW NO. 2000.78)	N/A

- (a) as defined under the *Community Care Facility Act* and limited to a maximum of twelve children

**238.2 Buildings and Structures****Maximum Number, Size and Height**

Dwelling Units	1 per lot
Combined Floor Area of Accessory Buildings	75 m <sup>2</sup>
Height of Principal Building	7.5 m
Height of Accessory Buildings and Structures	5.0 m

**238.3 Minimum Building Setbacks:**

Use	Front Lot Line Setback	Rear Lot Line Setback	Exterior Lot Line Setback	Interior Lot Line Setback
Principal Building	7.5 m	3.0 m	7.5 m	1.6 m
Accessory Buildings and Structures	7.5 m	1.2 m	7.5 m	0.6 m

**238.4 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this Bylaw.

**238.5 Off-Street Parking and Loading:**

Off-street parking and loading shall be provided according to Division 400 of this Bylaw.

**238.6 Maximum Lot Coverage: 33%****238.7 Play and Recreation Area Requirements: no requirements**

**238.8 Other Requirements:**

- (a) Maximum Floor Area Ratio: 0.50
- (b) The accessory preschool use shall be limited to a maximum of one non-resident employee."

(AMENDMENT BYLAW NO. 2000.49)

**239****COMPREHENSIVE DEVELOPMENT****CD-19**

*This zone is intended to provide for an apartment type building that could be oriented towards seniors in various stages of care.*

**239.1 Permitted Land Uses****Minimum Lot Size**

Single Family Dwelling	560 m <sup>2</sup>
Assisted Living Facility	3000 m <sup>2</sup>
Community Care Facility	3000 m <sup>2</sup>
Congregate Care Facility	3000 m <sup>2</sup>
Accessory food catering and/or personal service	3000 m <sup>2</sup>

**239.2 Maximum Residential Density**

<b>Permitted Use</b>	<b>Maximum Number of Dwelling Units (DU)</b>
Single Family Residential	1 dwelling unit per lot
Assisted Living Facility or Community Care Facility or Congregate Care Facility	71 dwelling units total in this zone
Food catering and/or personal service	Not to exceed 330 m <sup>2</sup>

**239.3 Maximum Floor Area Ratio**

<b>Permitted Use</b>	<b>Maximum Floor Area Ratio</b>
Single Family Residential	0.50
Assisted Living Facility or Community Care Facility or Congregate Care Facility	1.80

**239.4 Maximum Building Height**

<b>Permitted Use</b>	<b>Maximum Building Height</b>
Single Family Residential	7.5 m
Assisted Living Facility or Community Care Facility or Congregate Care Facility	16.0 m
Accessory Buildings & Structures	5.0 m

### 239.5 Maximum Lot Coverage

Permitted Use	Maximum Lot Coverage
Single Family Residential	33%
Assisted Living Facility or Community Care Facility or Congregate Care Facility	50%
Accessory Buildings & Structures	Subject to maximum lot coverage of the principle permitted use

### 239.6 Minimum Building Setbacks

Permitted Use	Minimum Building Setback			
	Front Lot Line	Rear Lot Line	Exterior Lot Line	Interior Lot Line
Single Family Residential	7.5 m	3.0 m	7.5 m	1.6 m
Assisted Living Facility or Community Care Facility or Congregate Care Facility	6.0 m	6.0 m	6.0 m	6.0 m
Accessory Buildings & Structures Accessory to Single Family Residential Use	7.5 m	1.2 m	7.5 m	0.6 m
Accessory Building & Structures Accessory to all other permitted uses	6.0	3.0	3.0	3.0

### 239.7 Siting and Shape of Building and Structures

- a) All buildings and structures, excluding single family dwelling units and all accessory buildings, shall conform to and be in substantial compliance with the Site Plan attached as Schedule "A" and forming part of this bylaw;
- b) All buildings and structures, excluding single family dwelling units and all accessory buildings, shall conform to and be in substantial compliance with the Elevation Plans attached as Schedule "B" and forming part of this bylaw.

### 239.8 Landscaping and Screening and Fencing

All open space areas shall be landscaped in accordance with a landscape plan prepared by a registered by a registered British Columbia Landscape Architect and shall follow the guidelines of the applicable Development Permit Area to which the property is subject to pursuant to the Official Community Plan.

**239.9 Off-Street Parking and Loading**

<b>Permitted Use</b>	<b>Parking and Loading</b>
Single Family Residential	Off-street parking and loading shall be provided according to Division 400 of this Bylaw.
Multiple Family Residential	Off-street parking and loading shall be provided according to Division 400 of this Bylaw.
Assisted Living Facility or Community Care Facility or Congregate Care Facility	29 underground parking spaces shall be provided of which 2 must be designated for handicapped persons and marked accordingly. 2 loading spaces to be provided. All parking and loading shall be provided in accordance with the parking aisle, parking space and loading bay dimensional requirements specified in Division 400 of this Bylaw.

**239.10 Height of Fences:**

	<b>The maximum height of Fences shall not exceed:</b>
<b>Front Yard</b>	1.2 m within the front yard
<b>Exterior Lot Line</b>	1.2 m within the exterior lot line setback except where a fence runs parallel to and adjacent the rear lot line then the maximum rear lot line fence height shall apply
<b>Interior Lot Line</b>	2.0 m within the interior lot line setback except where a fence is within the front yard then the front yard fence height shall apply
<b>Rear Lot Line</b>	2.0 m within the rear lot line setback except where a fence runs parallel to and adjacent an exterior lot line then the maximum exterior lot line fence height shall apply

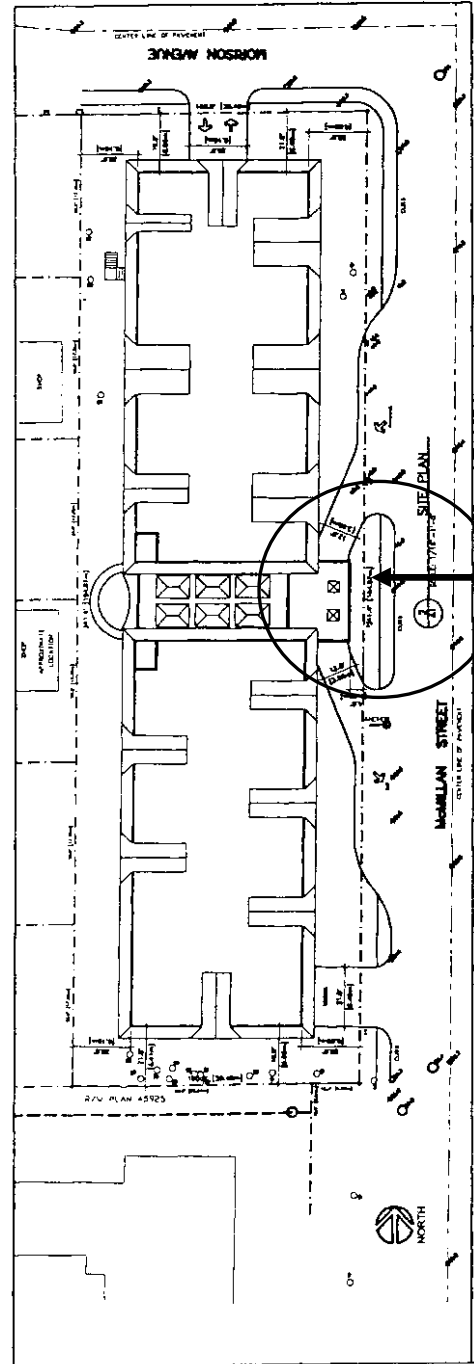
**239.11 Refuse Removal Area Requirements**

All garbage and recycling containers shall be effectively screened from view.

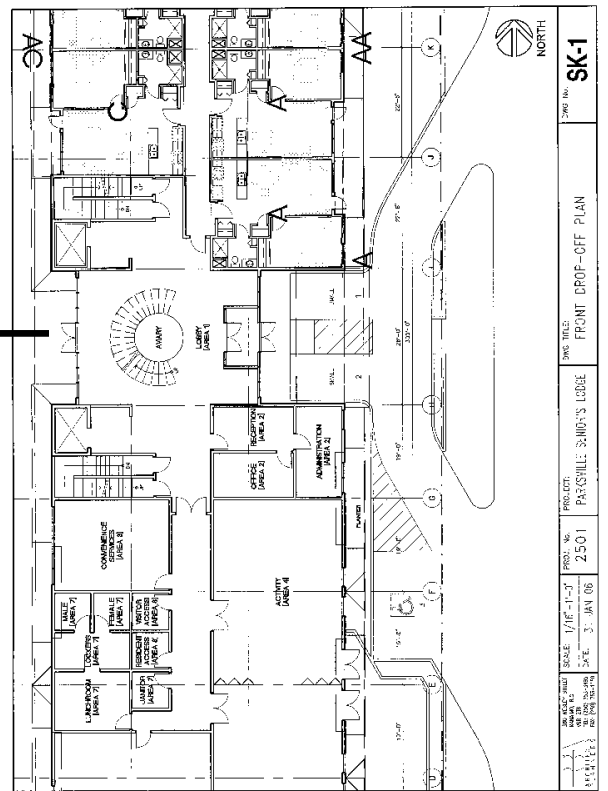
Schedule "A" of Bylaw No. 2000.49

Corporate Administrator

**Site Plan**



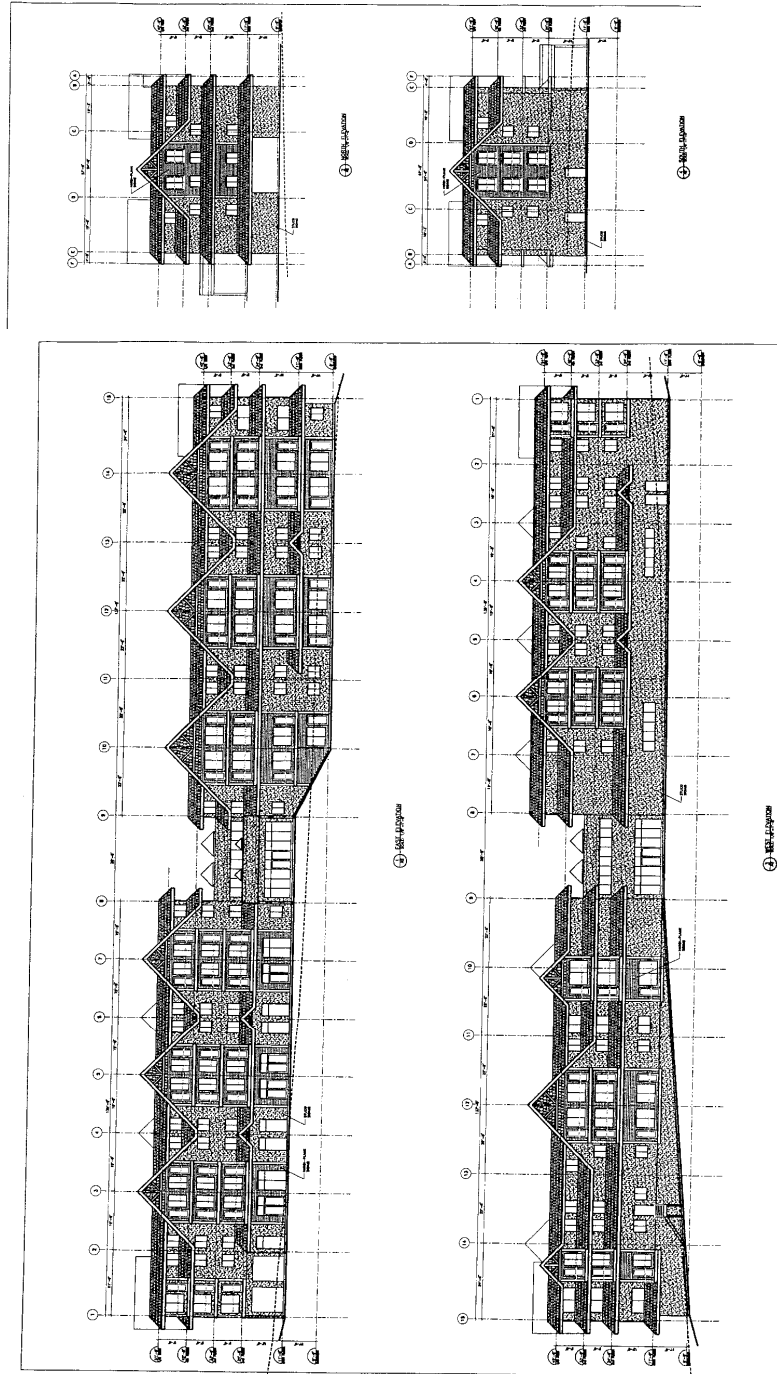
Details as per  
Dwg No. SK-1  
noted below.



Schedule "B" of Bylaw No. 2000.49

Corporate Administrator

**Elevation Plans**





(AMENDMENT BYLAW NO. 2000.56)

**239A COMPREHENSIVE DEVELOPMENT****CD-20**

*This zone is intended to provide land for housing medium density multiple family residential development or single family dwelling.*

**239A.1 Permitted Land Uses****Minimum Lot Size**

Single Family Dwelling	560 m <sup>2</sup>
Duplex Dwelling	800 m <sup>2</sup>
Multiple Family Residential	1000 m <sup>2</sup>
Home Based Business (AMENDMENT BYLAW NO. 2000.78)	N/A

**239A.2 Building and Structures****Maximum Number and Size**

Single Family Dwelling or Duplex Dwelling	1 per lot
Multiple Family Residential (see (a) & (b))	30 units per ha
Combined Floor Area of Accessory Buildings and Structures	150 m <sup>2</sup>

- (a) Where 80% or more of the required off-street parking spaces are provided underground or concealed within the building, the maximum number of multiple family residential units may be increased by 10 units per hectare.
- (b) Where 30% or more of the total number of units are affordable housing units, the maximum number of multiple family residential units may be increased by 10 units per hectare.

**239A.3 Maximum Height**

Principal Buildings	7.5 m
Accessory Buildings and Structures	5.0 m

**239A.4 Minimum Building and Structure Setbacks**

	<b>Front Lot Line</b>	<b>Rear Lot Line</b>	<b>Exterior Lot Line</b>	<b>Interior Lot Line</b>	<b>Southern Interior Lot Line</b>
Single Family Dwelling	7.5 m	3.0 m	7.5 m	1.6 m	1.6 m
Multiple Family Residential or Duplex Dwelling	6.0 m	2.0 m	6.0 m	10.0 m	4.0 m
Accessory Buildings and Structures	6.0 m	1.2 m	3.0 m	1.2 m	1.2 m

**Southern Interior Lot Line** means the Interior Lot Line of Lot 3, District Lot 74, Nanoose District, Plan 21355 that is adjacent to and in common with Lot 2, District Lot 74, Nanoose District, Plan 21355.

### **239A.5 Siting of Buildings**

- (a) All buildings, excluding accessory buildings and single family dwelling units, shall conform to and be in substantial compliance with the Site Plan attached as Schedule "A" of the CD-20 zone.

### **239A.6 Maximum Lot Coverage**

Single Family Dwelling	33%
Duplex Dwelling	33%
Multiple Family Residential	40%

### **239A.7 Floor Area Ratio (FAR)**

Single Family Dwelling	0.50
Duplex Dwelling	0.70
Multiple Family Residential	0.70

### **239A.8 Off-Street Parking and Loading**

All off-street parking and loading shall be provided according to Division 400 of this Bylaw, with the following exceptions applicable only to Multiple Family Residential use:

- (a) Manoeuvring aisles shall have a minimum width of 5.4 metres and shall be a minimum of 0.5 metres from an interior side lot line and shall be sited in general accordance with Schedule "A" of the CD-20 zone .
- (b) Driveways aprons shall have a minimum width of 4.5 metres and minimum length of 5.5 metres and shall be sited in general accordance with Schedule "A" of the CD-20 zone.
- (c) A minimum of two-thirds of the required parking shall be concealed within the principal buildings or provided underground.
- (d) Off-street surface parking shall be a minimum of 0.5 metres from an interior side lot line and sited in general accordance with Schedule "A" of the CD-20 zone.

### **239A.9 Landscaping and Screening**

Landscaping and screening shall comply with the requirements contained in Division 500 of this Bylaw in accordance with the standards applicable to the Medium Density Residential RS-2 zoning designation, excluding refuse removal area which shall be screened according to Section 239A.10 below. Screening and landscaping shall also be in accordance with applicable Development Permit guidelines.

**239A.10 Refuse Removal Area Requirements**

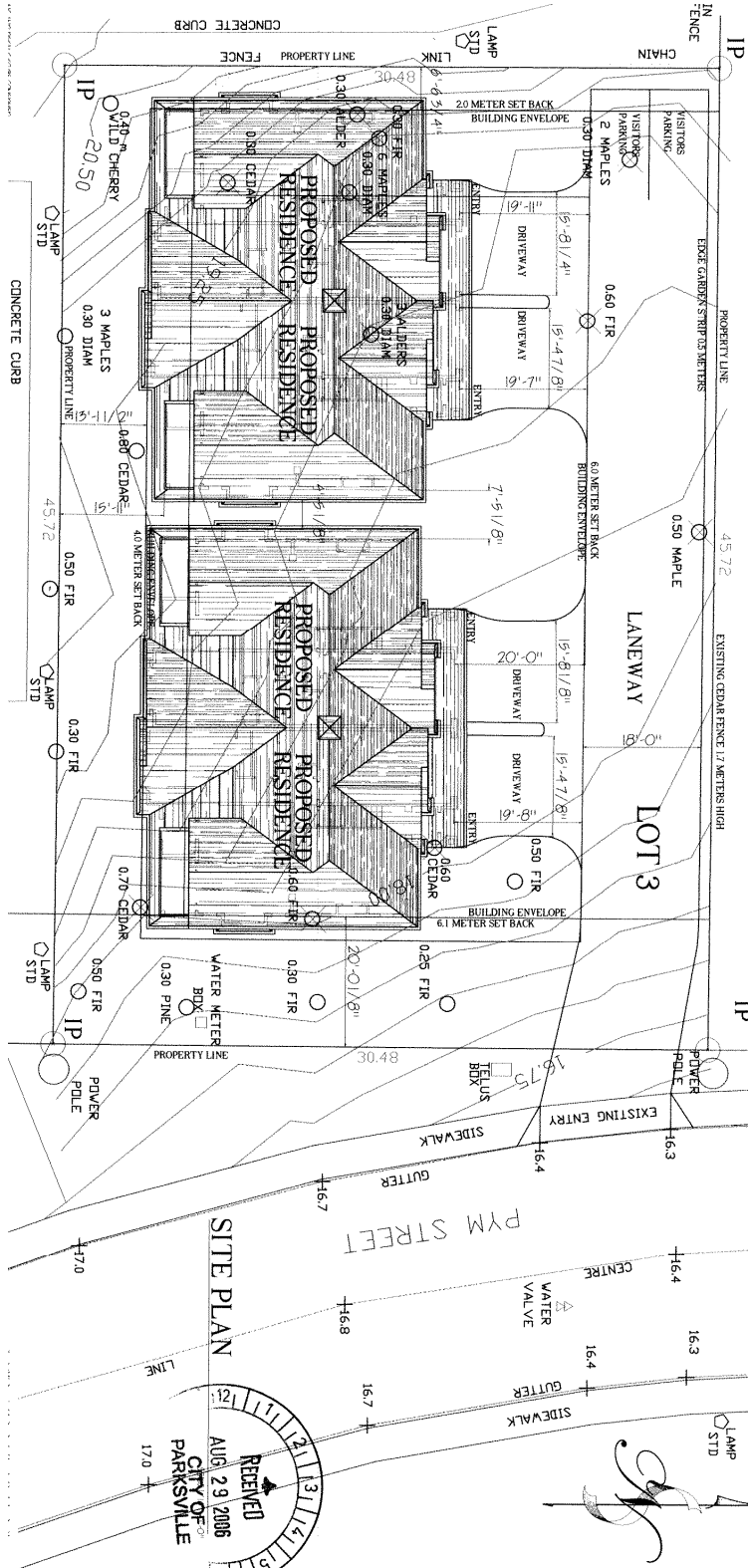
All garbage and recycling containers shall be effectively screened from view.

**239A.11 Fences**

Fences shall comply with the requirements contained in Division 500 of this Bylaw in accordance with the standards applicable to the Medium Density Residential RS-2 zoning designation.

Schedule "A" of the CD-20 zone

Site-Plan



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(AMENDMENT BYLAW NO. 2000.58)

**239B****COMPREHENSIVE DEVELOPMENT****CD-21**

*This zone is intended to provide for a mix of multiple family townhouse and apartment residential development and, in addition, housing for seniors in various stages of care.*

**239B.1 Permitted Land Uses:**

<b>Sub-zone</b>	<b>Permitted Land Uses</b>	<b>Minimum Lot Size</b>
CD-21A	Apartments	4,000 m <sup>2</sup>
	Assisted Living Facility	4,000 m <sup>2</sup>
	Congregate Care Facility	4,000 m <sup>2</sup>
	Accessory Buildings	N/A
CD-21B	Townhouses	2,000 m <sup>2</sup>
	Home Based Business (AMENDMENT BYLAW NO. 2000.78)	N/A
	Accessory Buildings	N/A
CD-21C	Transportation	500 m <sup>2</sup>
	Linear pathway	500 m <sup>2</sup>
	Utilities	500 m <sup>2</sup>
	Parking	500 m <sup>2</sup>

- 1) These uses shall only be undertaken within the applicable sub-zone as shown on the map in Section 239B.10 of this zone.

**239B.2 Maximum Building Height:**

Apartment	16.0 m
Assisted Living Facility	16.0 m
Congregate Care Facility	16.0 m
Townhouse	7.5 m
Accessory Buildings	5.0 m

**239B.3 Minimum Building and Structure Setbacks:**

<b>Use</b>	<b>Front Lot Line</b>	<b>Rear Lot Line</b>	<b>Exterior Lot Line</b>	<b>Interior Lot Line</b>
Apartment	6.0 m	4.5 m	6.0 m	4.5 m
Assisted Living Facility	6.0 m	4.5 m	6.0 m	4.5 m
Congregate Care Facility	6.0 m	4.5 m	6.0 m	4.5 m
Townhouse	4.5 m	3.0 m	4.5 m	3.0 m
Accessory Buildings	6.0 m	3.0 m	6.0 m	1.6 m

- 1) Despite the above, where subdivision has not occurred the sub-zone boundaries as shown on the map in Section 239B.10 of this zone shall be treated as lot lines.

**239B.4 Density: Maximum Floor Area Ratio (FAR)**

- 1) The maximum Floor Area Ratio shall be as shown on the map in Section 239B.10 of this zone;
- 2) Where subdivision has not occurred, for the purposes of determining floor area ratio, a parcel is defined as that area of land contained within the sub-zone boundaries as shown on the map in Section 239B.10 of this zone;
- 3) For the purpose of calculating FAR, the "leave strip" area may be counted towards the parcel area of the CD-21A sub-zone.

**239B.5 Maximum Lot Coverage: 45 %**

- 1) Where subdivision has not occurred, for the purposes of determining lot coverage, a lot is defined as that area of land contained within the sub-zone boundaries as shown on the map in Section 239B.10 of this zone.

**239B.6 Off-Street Parking and Loading:**

All off-street parking and loading shall be provided according to Division 400 of this Bylaw, except as follows:

- 1) Where the principal use is townhouse, off-street parking is required to be provided at 1.5 parking spaces per dwelling unit with a minimum of 50% of the parking spaces either concealed within a building or provided underground;
- 2) Where the principal use is apartment, off-street parking is required to be provided at 1.5 parking spaces per dwelling unit with a minimum of 70% of the parking spaces either concealed within a building or provided underground;
- 3) Where subdivision has not occurred, for the purposes of determining off-street parking and loading requirements, a lot is defined as that area of land contained within the sub-zone boundaries as shown on the map in Section 239B.10 of this zone;
- 4) Where subdivision has not occurred, for the purposes of determining off-street parking setback requirements, the sub-zone boundary as shown on the map in Section 239B.10 of this zone shall be treated as the property line.

**239B.7 Landscaping and Screening:**

Landscaping and screening shall:

- 1 ) Be in compliance with Division 500 of this Bylaw in accordance with the standards applicable to the High Density Residential RS-3 zoning designation;
- 2 ) Include a "**leave-strip**" as shown on the map in Section 239B.10 of this zone, except where authorized to be altered by way of a Development Permit;
- 3 ) Be in accordance with applicable Development Permit guidelines.

For the purpose of this zone "**leave-strip**" means an area where mature trees are to be retained for the purpose of separating uses and preserving the natural environment. Within the "leave-strip" no tree shall be cut or removed except where authorized by Council through a Development Permit or by City Staff where the City has accepted the findings of a certified arborist that a tree is dead, poses an imminent danger of falling, or is a high risk for failure. No building or structure, excluding fences, shall be located within the "leave-strip".

**239B.8 Refuse Removal Area Requirements:**

A designated refuse removal area, for the storage of garbage and recycling containers, shall be provided for every building. The refuse removal area must be completely concealed within a building or be provided pursuant to Section 414 and Section 503 this Bylaw.

**239B.9 Fences:**

Fences shall comply with the requirements contained in Division 500 of this Bylaw in accordance with the standards applicable to the High Density Residential RS-3 zoning designation.

**239B.10 Sub-zones:**

Land uses permitted in Section 239B.1 of this zone shall only be undertaken within the applicable sub-zone shown on the map below:

### Sub-Zone Map

