

228 COMPREHENSIVE DEVELOPMENT**CD-8****228.1 Statement of Intent:**

Provides for an innovative semi-sheltered retirement residential care facility development.

228.2 Permitted Uses:

The following uses and no others shall be permitted:

- a) semi-sheltered retirement residential care facility;
- b) accessory off-street parking.

228.3 Specific Use Regulations:**228.4 Maximum Density:**

The maximum number of dwelling units shall not exceed seventy two (72).

228.5 Siting, Shape and Size of Buildings and Structures:

a) Parcel Size

The minimum parcel size shall be 2.026 ha (5.006 acres).

b) Maximum Floor Area

The maximum floor area shall be as shown on the typical Floor Plan attached as Schedule "C" and forming part of this Bylaw.

c) Lot Coverage

Buildings and structures shall not exceed a lot coverage as shown on the typical Plan, date stamped 1991 June 11, attached as Schedule "B-1" and forming part of this Bylaw.

d) Height

Maximum height shall be as shown on the Plan, date stamped 1991 June 11, attached as Schedule "B-1" and forming part of this Bylaw.

e) Setbacks

Principal buildings shall be as shown on the Plan, date stamped 1991 June 11, attached as Schedule "B-1" and forming part of this Bylaw.

228.6 Open Site Area Requirements:

Open site area shall be as shown on the Plan, date stamped 1991 June 11, attached as Schedule "B-1" and forming part of this Bylaw.

228.7 Landscaping Provisions:

All open space areas shall be landscaped as shown on the Plan, date stamped 1991 June 11, attached as Schedule "B-1" and forming part of the Bylaw.

228.8 Design Requirements:

- a) All buildings and structures shall be constructed to the standards set out in the National Building Code and the British Columbia Plumbing Code;
- b) The facade and exterior finishes of buildings and structures shall be as shown on the Plan, date stamped 1991 June 11, attached as Schedule "B-2" and forming part of this Bylaw.

228.9 Signs:

A maximum of two (2) identification signs not to exceed 1 m² (10.76 sq. ft.) in size each shall be permitted.

228.10 Off-Street Loading Requirements:

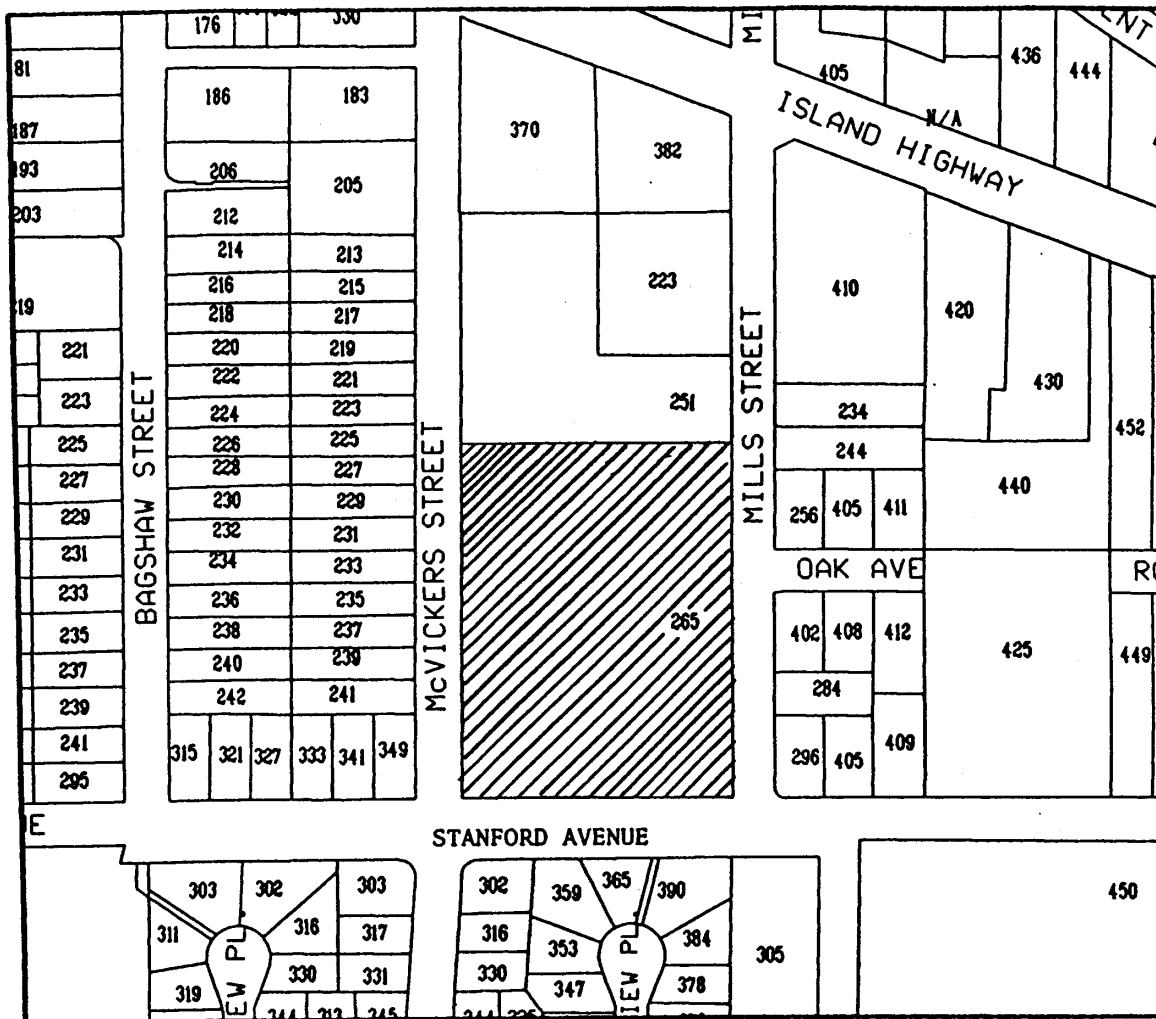
Off-street loading shall be as shown on the Plan, date stamped 1991 June 11, attached as Schedule "B-1" and forming part of this Bylaw.

228.11 Refuse Removal Provisions:

The refuse collection area shall be as shown on the Plan, date stamped 1991 June 11, attached as Schedule "B-1" and forming part of the Bylaw.

228.12 Off-Street Parking Requirements:

- a) A minimum of one hundred (100) off-street parking spaces shall be provided.
- b) All other requirements set out in Division 400 of this Bylaw shall apply.

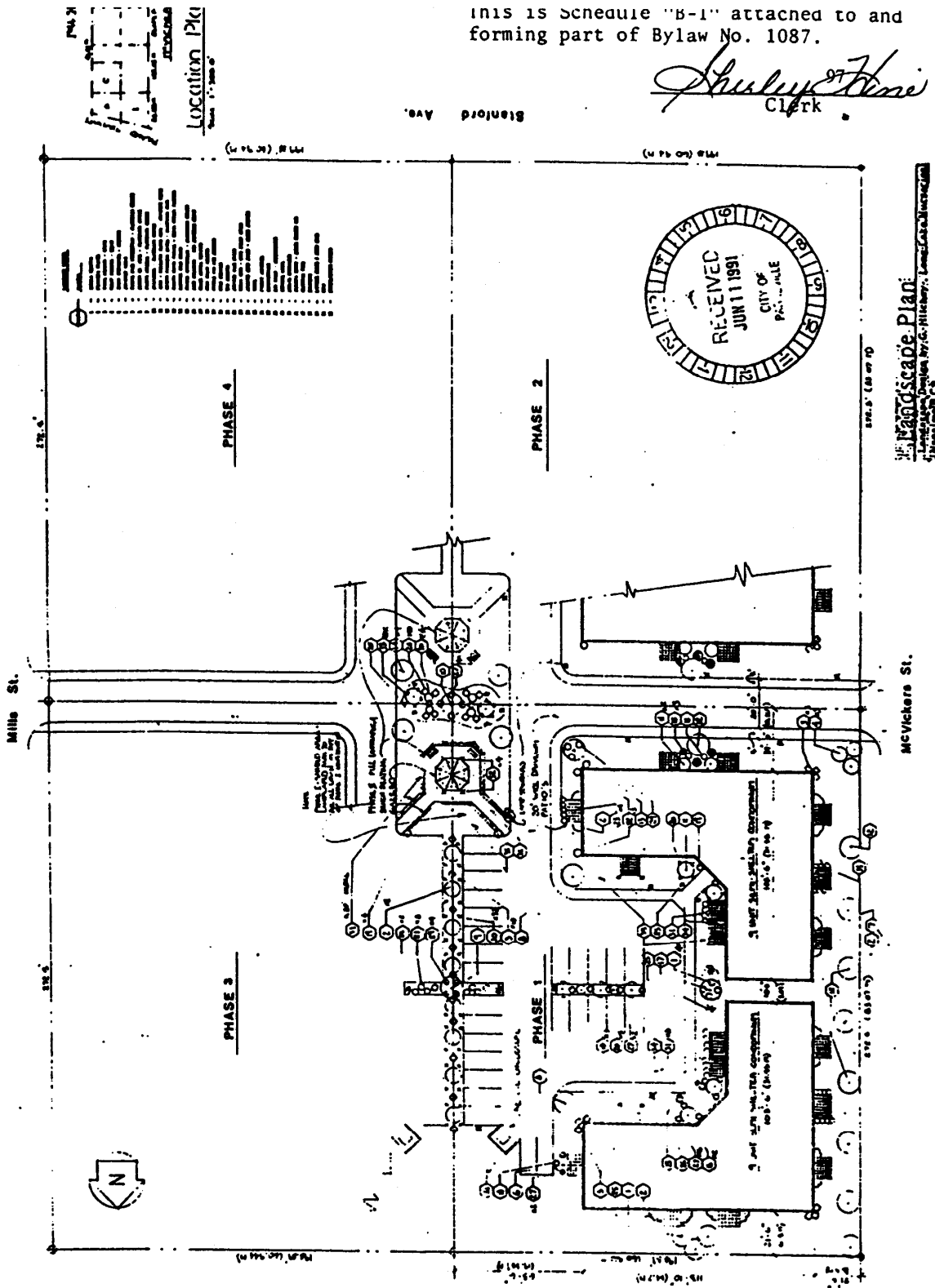


This is Schedule "A" attached to and forming part of Bylaw No. 1087.

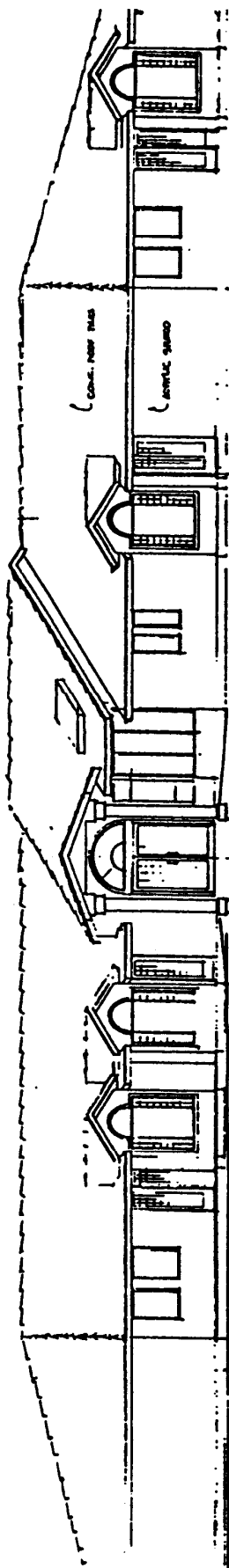
Shelby Hines
Clerk

THIS IS Schedule "B-1" attached to and forming part of Bylaw No. 1087.

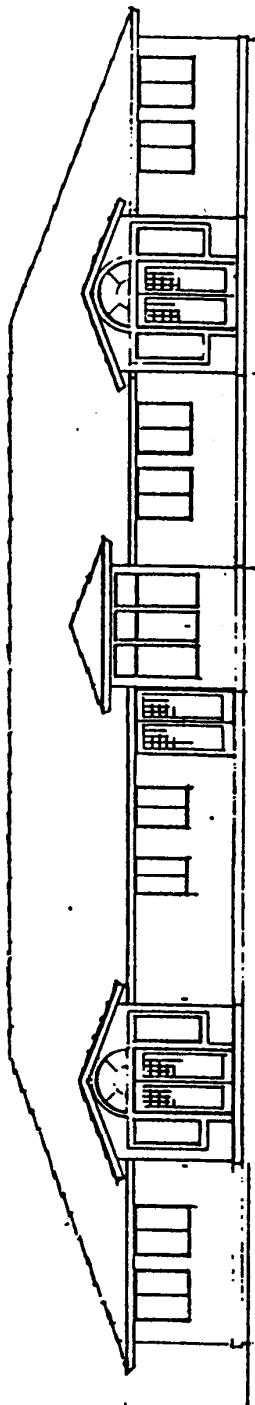
Shirley H. Hines
Clerk



Landscape Plan
Landscape Design, 877-65-1114
5110 West 11th St.
Overland Park, MO 66212



Front Entrance Elevation

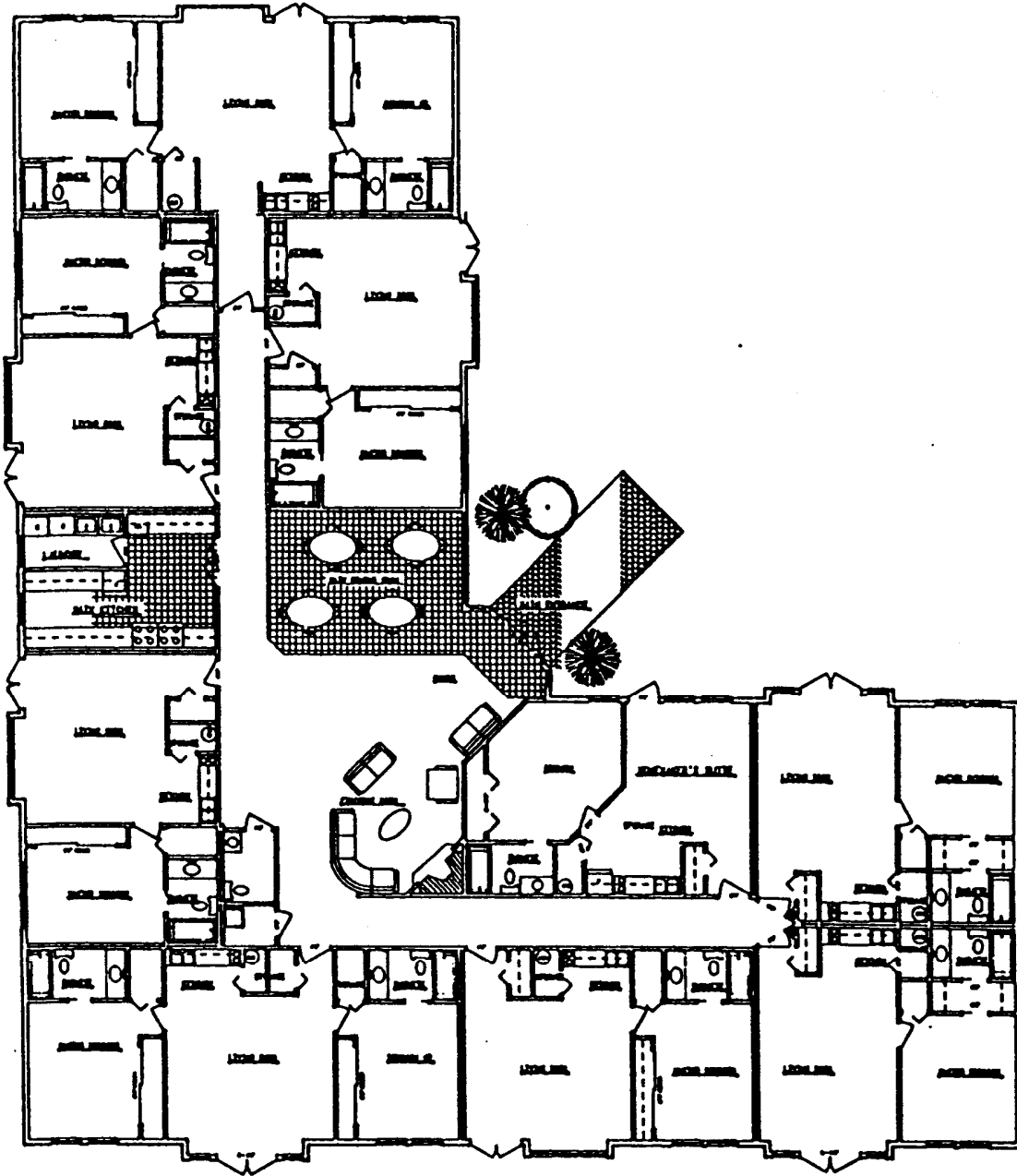


Streetscape Elevation



This is Schedule "B-2" attached to and forming part of Bylaw No. 1087.

Shelby Terri
 Clerk



MASTER FLOOR PLAN

SCALE: 1/4" = 1'-0"

This is Schedule "C" attached to
and forming part of Bylaw No. 1087.

Shirley Hines
Clerk

229	COMPREHENSIVE DEVELOPMENT	CD-9
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229.1 Statement of Intent:

Provides for an innovative mixed town house and apartment residential development.

229.2 Permitted Uses:

The following uses and no others shall be permitted;

- a) apartment use;
- b) townhouse;
- c) Home Based Business (AMENDMENT BYLAW NO. 2000.78);
- d) accessory off-street parking.

229.3 Specific Use Regulations:

More than one principal use shall be permitted on a parcel of land.

229.4 Maximum Density:

- a) the maximum number of dwelling units shall not exceed fifty six (56);
- b) the maximum number of dwelling units within the apartment building shall not exceed thirty five (35);
- c) the maximum number of dwelling units within the townhouses shall not exceed twenty one (21).

229.5 Siting, Shape and Size of Buildings and Structures:a) Siting of Buildings

All buildings and structures shall be sited in conformity with the Site Plan attached as Schedule "B".

b) Maximum Floor Area

The maximum floor area of individual dwelling units shall conform to the floor plans attached as Schedule "C".

c) Shape of Building

The design of all buildings and structures shall conform to the elevations as shown on the attached Schedules "C" and "D".

d) Lot Coverage

Buildings and structures shall not exceed a lot coverage of twenty four percent (24%).

e) Height

The height of all buildings and structures shall conform to the elevations as shown on the attached Schedules "C" and "D".

229.6 Open Site Area Requirements:

- a) The minimum open site area requirement is fifty three percent (53%) of the total site.
- b) Each townhouse dwelling unit shall be provided with private outdoor space.

229.7 Landscaping Provisions:

Landscaping shall conform to the landscaping plan as shown on the attached Schedule "E".

229.8 Signs:

Signs shall comply with the current City of Parksville Sign Bylaw.

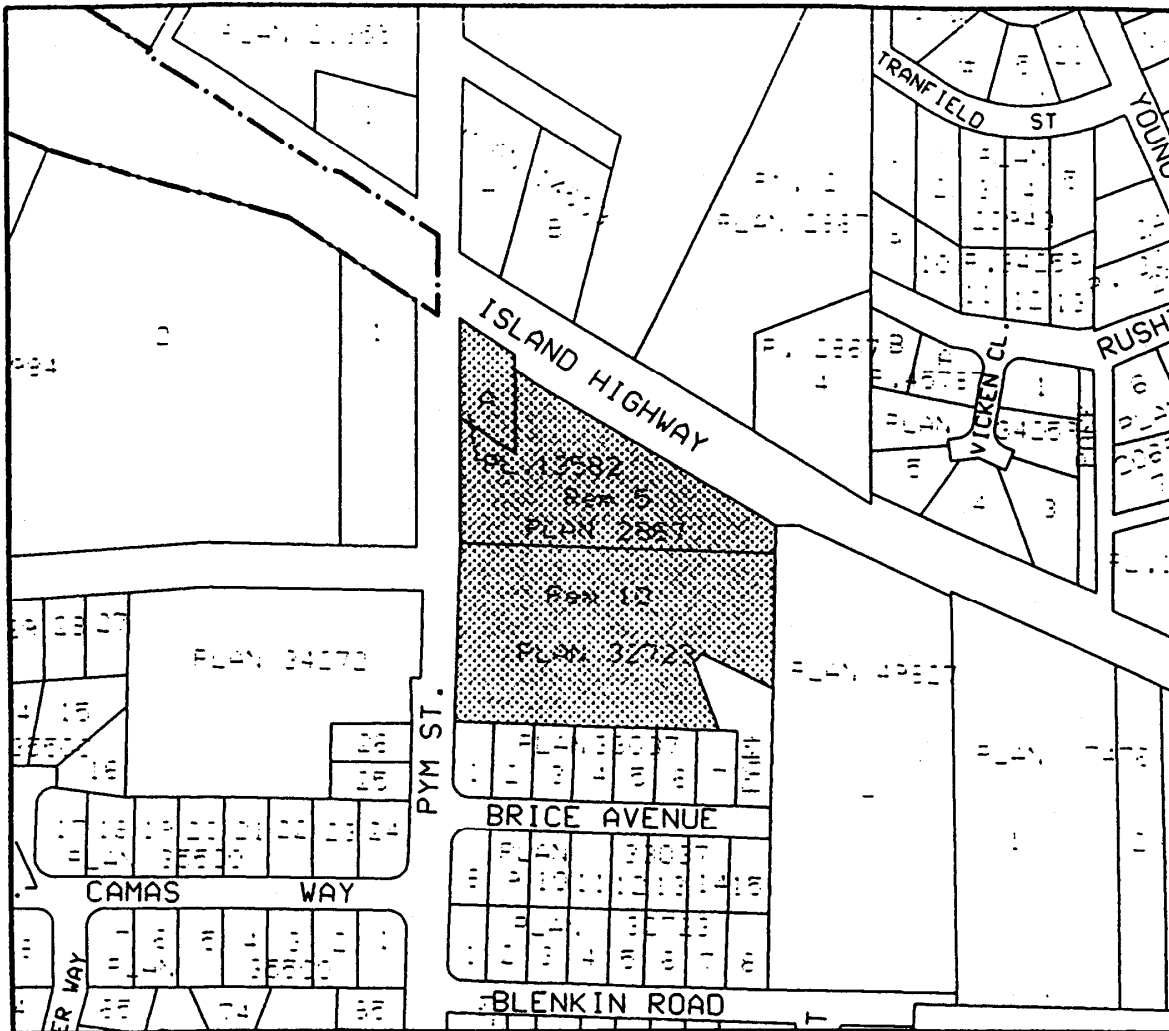
229.9 Off-Street Loading Requirements:

229.10 Refuse Removal Provisions:

- a) Refuse removal facilities shall be provided for the apartment building and the townhouses.
- b) All outdoor refuse removal facilities shall be enclosed on three sides by a landscape screen of not less than two metres in height.

229.11 Off-Street Parking Requirements:

A minimum of eighty four (84) parking spaces shall be provided. All other requirements set out in Division 400 of this Bylaw shall apply.

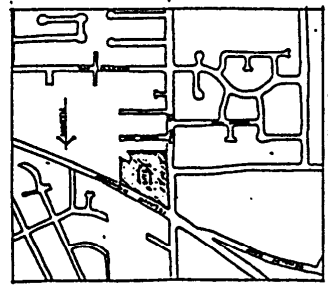
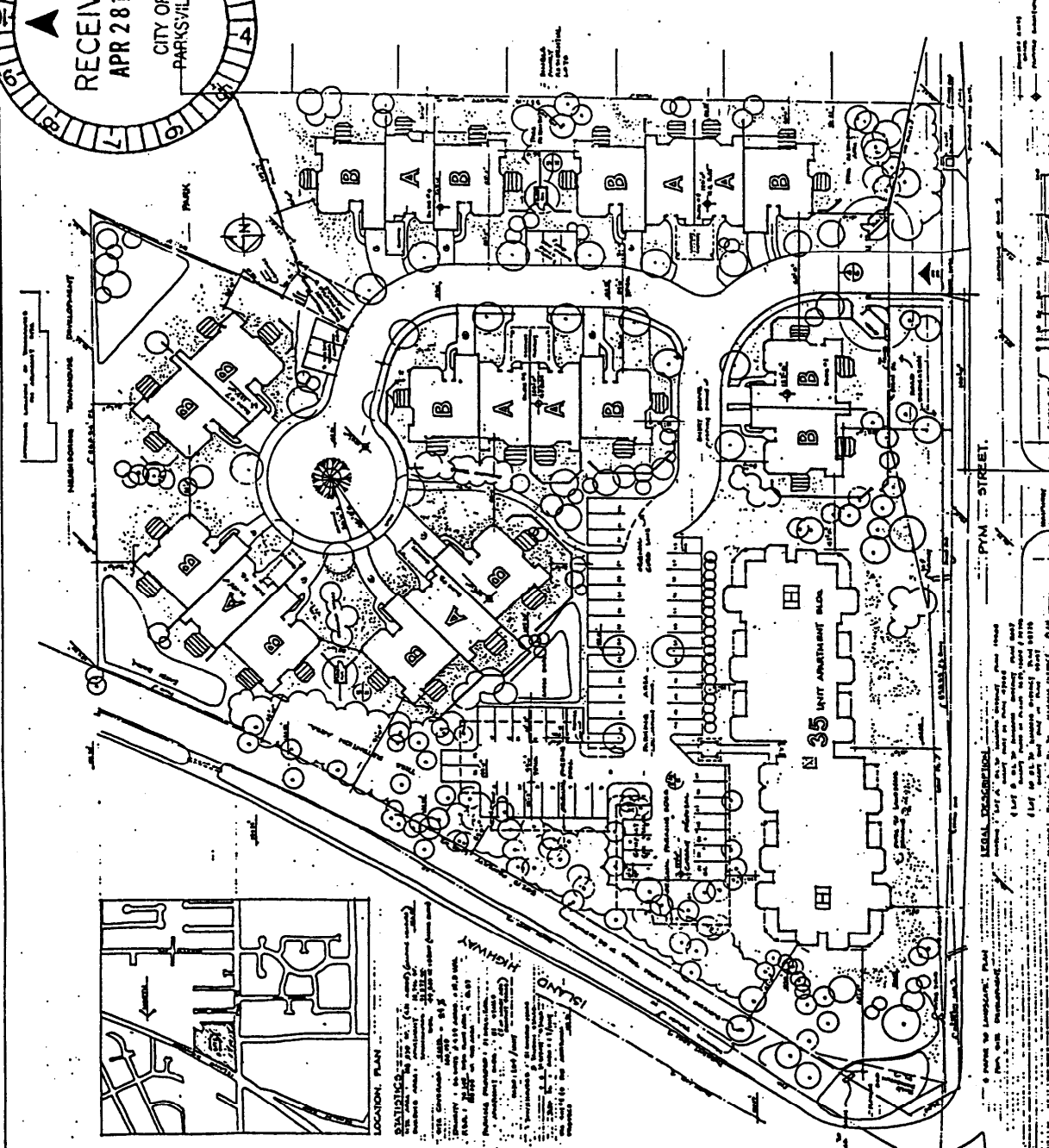


This is Schedule "A"
attached to and forming
part of Bylaw No. 1090.

Shuley Jones
Clerk

RECEIVED
APR 28 1992
CITY OF
PARKSVILLE

BARCLAY M'LEIC ARCHITECTS
SITE PLAN
LOCATION: PARKSVILLE, OHIO
PROJECT: 35 UNIT APARTMENT BUILDING



LOCATION PLAN
ISLAND HIGHWAY
Pym Street

LEGAL DESCRIPTION
A portion of Lot 1, Block 1, Pym Street, Parksville, Ohio, as shown on the plat of Pym Street, Parksville, Ohio, recorded in the Public Records of Parksville, Ohio, at Volume 10, Page 101.

Schedule "B" of Bylaw No. 1090.

Shirley Jones
Clerk

TYPICAL FRONT ELEVATION

TYPICAL SIDE ELEVATION

TYPICAL REAR ELEVATION

TYPICAL FRONT PORCH ELEVATION

TYPICAL SIDE PORCH ELEVATION

TYPICAL REAR PORCH ELEVATION

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TYPICAL SIDE PORCH ELEVATION

TYPICAL REAR PORCH ELEVATION

Schedule "C" of Bylaw No. 1090.

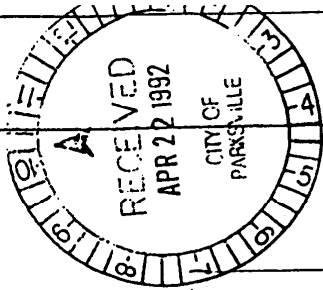
Shirley Harris
Clerk

BARCLAY McLEOD ARCHITECT

PLANS, ELEVATIONS, SECTIONS & UNIT COUNT

UNIT COUNT

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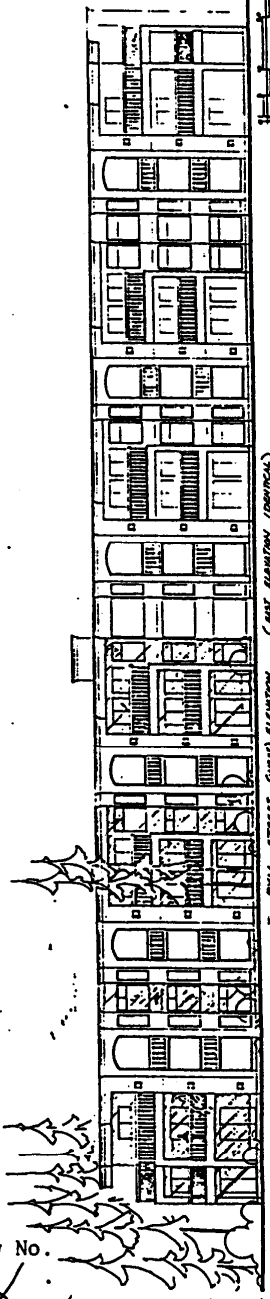
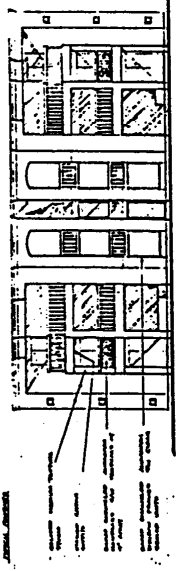
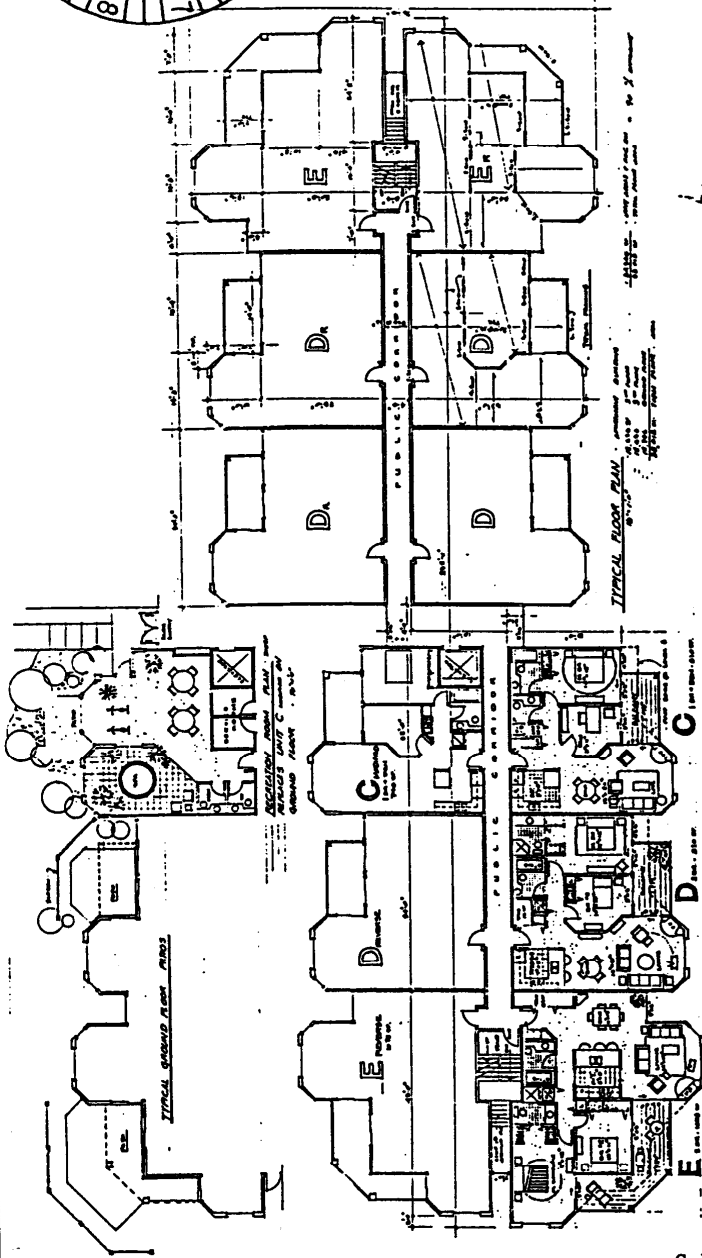


BARCLAY McLEOD ARCHITECT

1000 1/2 WEST BROADWAY PARKWAY
 PARKSVILLE, MISSOURI 64070
 PHONE: (816) 261-1111
 FAX: (816) 261-1112

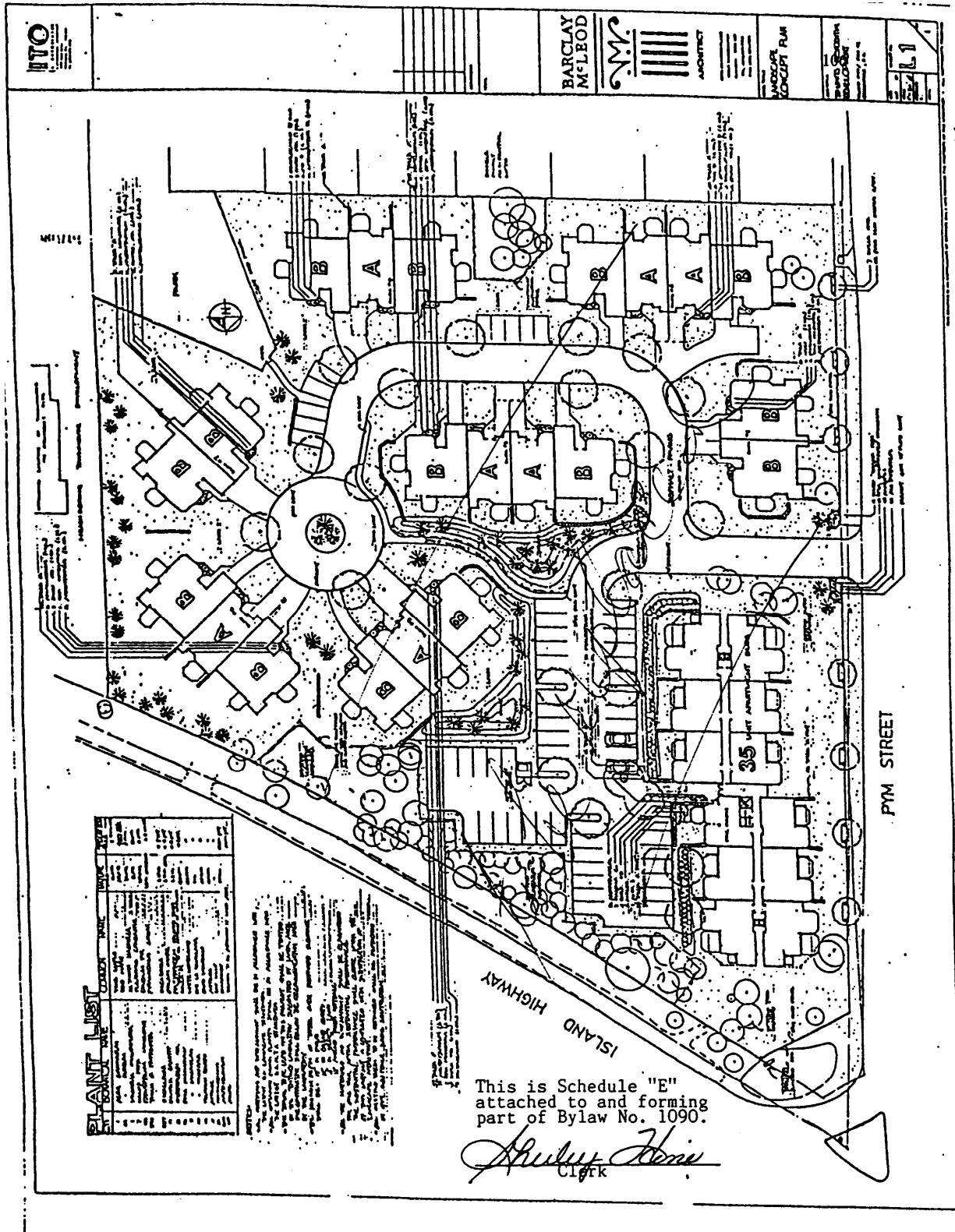
PROJECT NO. 05
 PIN STREET RESIDENTIAL DEVELOPMENT

3



Schedule "D" of Bylaw No. 1090.

Shuler Home



230 COMPREHENSIVE DEVELOPMENT**CD-10****230.1 Statement of Intent:**

Provides for an innovative seniors care facility development.

230.2 Permitted Uses:

The following uses and no others shall be permitted;

- a) personal and intermediate care homes licenced pursuant to the *Community Care Facility Act*;
- b) business and professional offices;
- c) accessory off-street parking.

230.3 Specific Use Regulations:**230.4 Maximum Density:**

The maximum number of dwelling units shall not exceed twenty (20).

230.5 Siting, Shape and Size of Buildings and Structures:

a) Parcel Size

The minimum parcel size shall be 0.118 ha (0.292 acres).

b) Maximum Floor Area

The maximum floor area shall be as shown on the plans attached as Schedules "B" and "C" and forming part of this Bylaw.

c) Lot Coverage

Buildings and structures shall not exceed a lot coverage of 43%.

d) Height

Maximum height shall be as shown on Schedule "D" attached to and forming part of this Bylaw.

e) Setbacks

Principal buildings shall be as shown on the Site Plan attached as Schedule "B" and forming part of this Bylaw.

230.6 Open Site Area Requirements:

Open site area shall be as shown on the Site Plan attached as Schedule "B" and forming part of this Bylaw.

230.7 Landscaping Provisions:

All open space areas shall be landscaped in accordance with the landscape plan attached as Schedule "E" and forming part of this Bylaw.

230.8 Design Requirements:

- a) All buildings and structures shall be constructed to the standards set out in the National Building Code and the British Columbia Plumbing Code;
- b) The facade and exterior finishes of buildings and structures shall be as shown on Schedule "D" attached to and forming part of this Bylaw.

230.9 Signs:

Signs and notices are permitted subject to the current Sign Bylaw and amendments thereto.

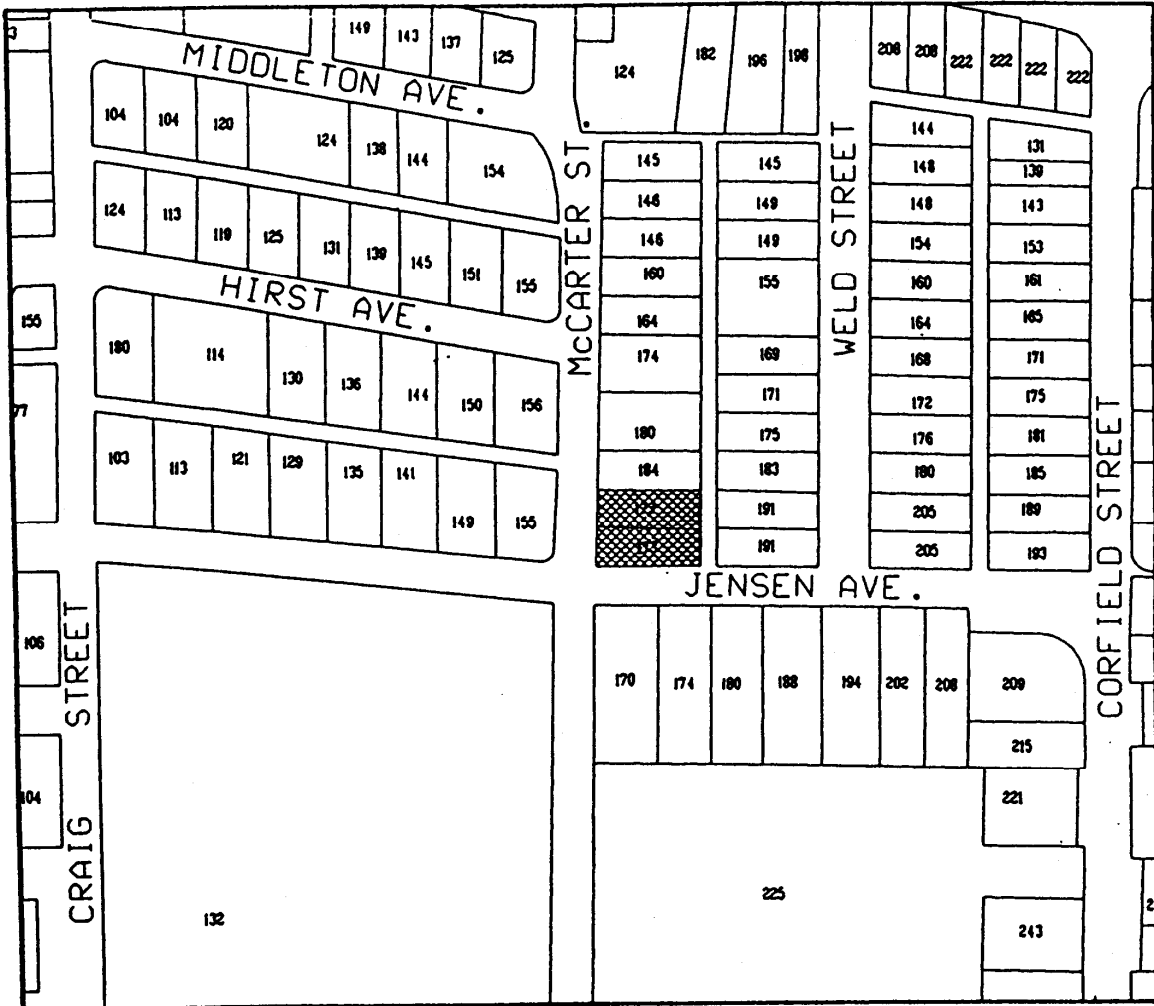
230.10 Off-Street Loading Requirements:

230.11 Refuse Removal Provisions:

The refuse collection area shall be as shown on the Site Plan attached as Schedule "B" and forming part of this Bylaw.

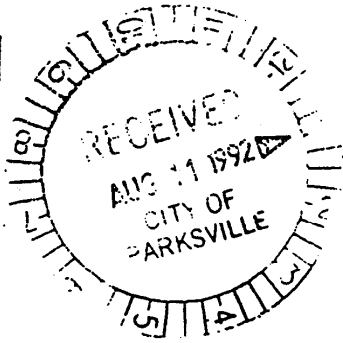
230.12 Off-Street Parking Requirements:

Off-street parking shall be provided in accordance with the Site Plan attached as Schedule "B" and forming part of this Bylaw.



Schedule "A" attached to and forming part of Bylaw No. 1108.

Shuley Jones
Clerk

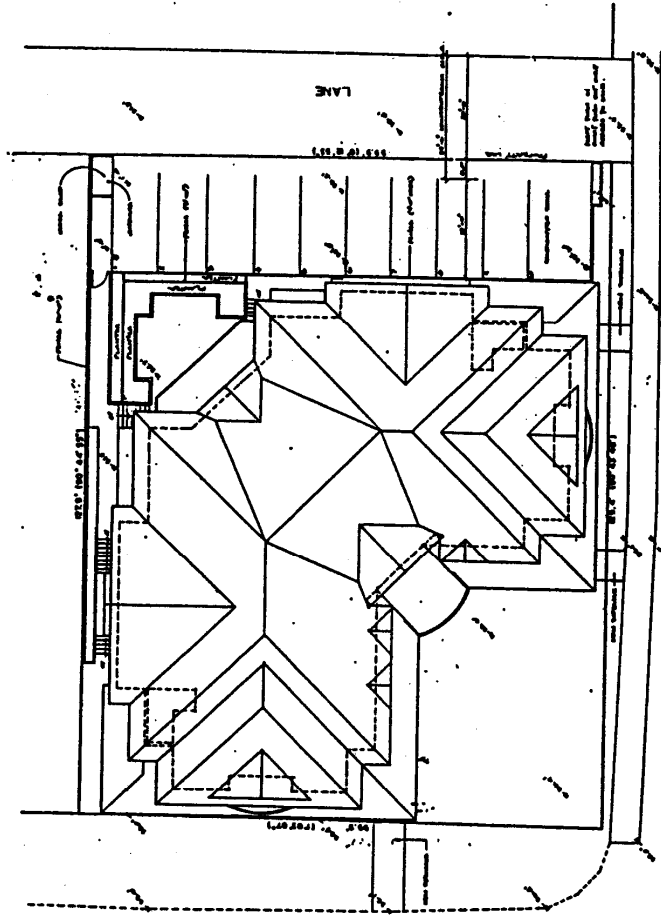


Franc Lamoureux Archi Inc
 HALLIDAY MOU
 173 EAST JENSEN PARKVILLE, MO
 ROOF PLAN
 A-1

Schedule "B" attached to and forming part of Bylaw No. 1108.

Shirley Jones
Clerk

1. All roof areas shall be finished with 2" of expanded polystyrene insulation over the existing roof structure.
 2. All roof areas shall be finished with a minimum of 2" of concrete over the insulation.
 3. All roof areas shall be finished with a minimum of 1" of asphalt/fluoropolymer waterproofing over the concrete.
 4. All roof areas shall be finished with a minimum of 1" of gravel over the waterproofing.
 5. All roof areas shall be finished with a minimum of 1" of gravel over the waterproofing.
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 10. All roof areas shall be finished with a minimum of 1" of gravel over the waterproofing.



JENSEN AVENUE

ROOF PLAN

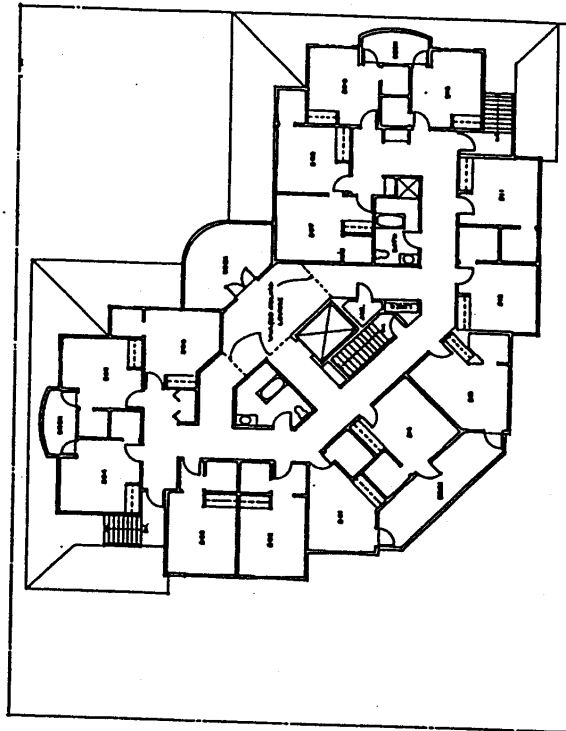
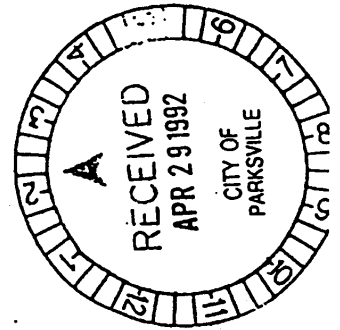


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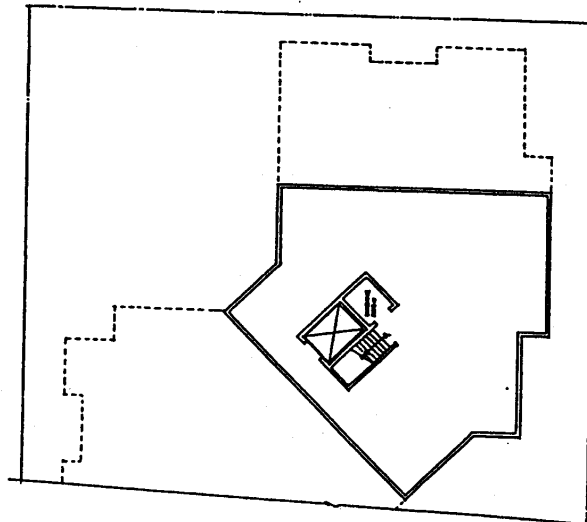
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Franci Lamoureux Architects Inc
HOLIDAY HOUSE, PARKSVILLE

1108
BASEMENT & SECOND FLOOR PLANS
9207 A-2



SECOND FLOOR PLAN



BASEMENT PLAN

Schedule "C" attached to and forming part of Bylaw No. 1108.

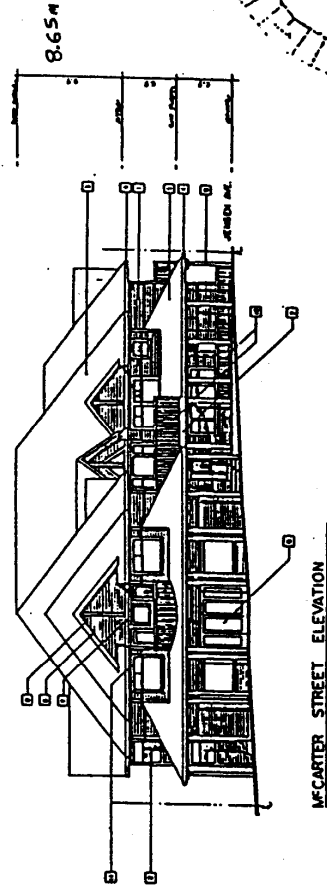
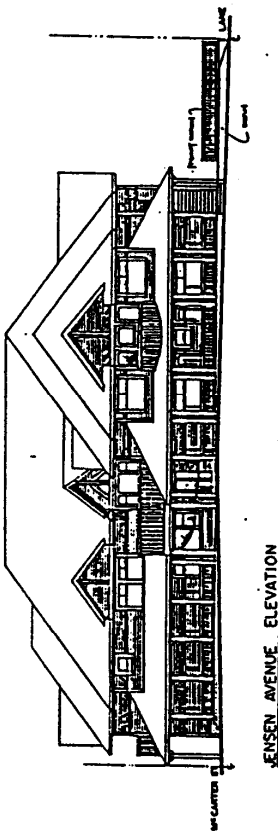
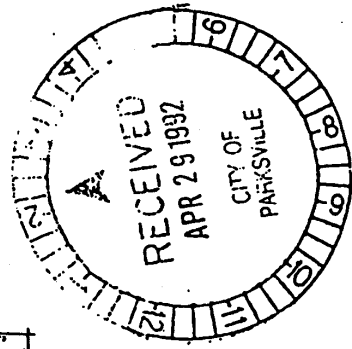
Shirley Harris
Clerk

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Franci
Lamoureux
Architects
Inc
HALLIDAY HOUSE,
PARKSVILLE

ELEVATIONS	11
9207	A-3

- EXTERIOR FINISH ELEVATION
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Schedule "D" attached to and forming part of Bylaw No. 1108.

Shirley Jones
Clerk

231 COMPREHENSIVE DEVELOPMENT**CD-11****231.1 Statement of Intent:**

Provides for innovative comprehensive residential development with commercial and recreational facilities.

231.2 Permitted Uses:

The following uses and no others shall be permitted:

- a) residential single family;
- b) residential two family;
- c) apartments;
- d) townhouses;
- e) uses accessory to residential uses;
- f) Home Based Business (AMENDMENT BYLAW NO. 2000.78);
- g) hotel;
- h) public recreational and open space;
- i) retail stores and personal services;
- j) equestrian uses;
- k) bed and breakfast accommodation;
- l) day care centre;
- m) delicatessen;
- n) restaurants.

231.3 Specific Use Regulations:

- a) A hotel shall include not more than 30 guest rooms and suites and no hotel building shall be constructed or used if more than two apartment buildings have been constructed in the CD-11 Zone.

- b) If a building in the CD-11 Zone is used as a hotel the maximum number of dwelling units permitted in the zone shall be reduced by 30 and the maximum permitted number of apartment buildings shall be reduced to two.

231.4 Maximum Density:

- a) The maximum number of dwelling units in the entire CD-11 Zone shall not exceed 430. (AMENDMENT BYLAW NO. 2000.20)
- b) The maximum number of dwelling units in the entire CD-11 Zone in apartments shall not exceed 78 in a maximum of three apartment buildings.

231.5 Siting, Shape and Size of Buildings and Structures:

- a) Maximum Floor Area (AMENDMENT BYLAW NO. 2000.20)
 - (i) The maximum floor area for restaurant use shall not exceed 500 m².
 - (ii) The maximum floor area for the maintenance buildings shall not exceed 465 m².
 - (iii) The maximum permitted floor area used for retail and personal service uses in the entire CD-11 Zone shall not exceed 700 m².
- b) Height
 - (i) The maximum height of buildings used for the apartment uses shall not exceed 17 metres. Notwithstanding anything else contained in this bylaw the height of buildings used for the apartment uses shall be measured from the finished grade to the peak of roof. (AMENDMENT BYLAW NO. 2000.20)
 - (ii) The maximum height of buildings used for the townhouse uses shall be 7.5 metres.
 - (iii) The maximum height of buildings used for single family residential and two family residential uses shall be 7.5 metres.
 - (iv) The maximum height for the restaurant and the maintenance buildings shall be nine metres.
 - (v) The maximum height for all accessory buildings shall be four metres.
 - (vi) Height of buildings and structure height shall be measured from the finished grade.

- (vii) Architectural appurtenances incorporating no habitable floor area such as chimneys, cupolas and turrets shall not be included in building height measurements.

c) Setbacks

- (i) All buildings and structures shall have a minimum setback of eight metres from Northwest Bay Road.
- (ii) All buildings and structures shall have a minimum setback of six metres from Bay Road and all lot lines adjoining a parcel of land that is not located in the CD-11 Zone.
- (iii) All buildings and structures shall have a minimum setback of 15 metres from the natural boundary of the Strait of Georgia and any water course.

231.6 Open Site Area Requirements:

Each residential two family and townhouse dwelling units shall be provided with private outdoor space a minimum of 18.6 m² in area.

231.7 Landscaping Provisions:

All open space shall be landscaped.

231.8 Refuse Removal Provisions:

An enclosed refuse removal area shall be provided for each multiple family residential building.

231.9 Off-Street Parking and Loading Requirements:

- a) Off-street parking and loading shall be provided according to Division 400 of this Bylaw.

