

**221 COMPREHENSIVE DEVELOPMENT****CD-1****221.1 Statement of Intent:**

Provides for innovative higher density residential development that takes advantage of the unique nature of the site.

**221.2 Permitted Uses:**

- a) multiple family residential use;
- b) accessory recreation building use;
- c) Home Based Business (AMENDMENT BYLAW NO. 2000.78);
- d) accessory off-street parking.

**221.3 Specific Use Regulations:****221.4 Maximum Density:**

- a) The maximum density on a parcel shall not exceed 20 dwelling units per hectare (8 dwelling units per acre).
- b) One building shall be permitted for accessory recreation purposes.

**221.5 Size, Shape and Siting of Building and Structures:****a) Parcel Size and Shape**

The minimum parcel size shall be 2.8 hectares (7 acres).

**b) Maximum Floor Area**

- (i) the maximum floor area for 8 dwelling units shall not exceed 145 sq.m. (1560.8 sq. ft.) per unit;
- (ii) the maximum floor area for 10 dwelling units shall not exceed 140 sq. m. (1500 sq. ft.) per unit;
- (iii) the maximum floor area for 10 dwelling units shall not exceed 75 m<sup>2</sup> (807.3 sq. ft.) per unit;
- (iv) the maximum floor area for 28 dwelling units shall not exceed 115 m<sup>2</sup> (1237.9 sq. ft.) per unit;

c) Lot Coverages

Buildings and structures shall not exceed a lot coverage of 25%.

d) Height

- (i) a maximum of 2 principal building containing not more than 8 dwelling units shall not exceed a height of 10 metres (32.8 ft.)
- (ii) a maximum of 1 principal building containing not more than 4 dwelling units shall not exceed a height of 10 metres (32.8 ft.)
- (iii) a maximum of 3 principal buildings containing not more than 10 dwelling units shall not exceed a height of 7.5 m (24.61 ft.)
- (iv) all other principal buildings shall not exceed a height of 5 metres (16.4 ft.)

e) Setbacks

- (i) principal buildings shall be a minimum of:
  - (aa) 4.8 m (16 ft.) from the north lot line;
  - (bb) 8.2 m (27 ft.) from the east lot line;
  - (cc) 6.1 m (20 ft.) from the south lot line;
- (ii) principal buildings shall be located west of the west boundary of Plan RW 3115.

f) Accessory Building and Structures

Buildings and structures accessory to the principal use shall be subject to the following:

- (i) buildings for off-street parking use shall:
  - (aa) be a maximum of 5 buildings not exceeding 115 m<sup>2</sup> each in area;
  - (bb) be a minimum of 3 m (9.88 ft.) from a north lot line;
  - (cc) be a minimum 8.2 m (27 ft.) from all other lot lines;
  - (dd) be a maximum of 5 m (16.4 ft.) in height.

- (ii) buildings for service use shall:
  - (aa) be a maximum of 1 building not exceeding 45 m<sup>2</sup> (484.4 sq. ft.) in size;
  - (bb) be a minimum of 18 m (59 ft.) from all lot lines;
  - (cc) be a maximum of 4 m (13.13 ft.) in height;
- (iii) building for accessory recreation use shall:
  - (aa) not exceed 215 m<sup>2</sup> (2314.3 sq. ft.) in floor area;
  - (bb) be a minimum of 7.5 m (24.61 ft.) from a south lot line;
  - (cc) be a minimum of 75 m (246 ft.) from a north lot line;
  - (dd) be a maximum of 5 m (16.4 ft.) in height from the original top of the bank.
- (iv) 3 additional structures for the purpose of housing utilities may be permitted and shall be subject to the setback and height restrictions set out in subsections (i), (bb), (cc) and (dd).

#### **221.6 Open Site Area Requirements:**

- a) the minimum open site area requirement is 50% of the total site.

#### **221.7 Landscaping Provisions:**

- a) A solid wood good neighbour fence shall not exceed a height of 2.0 metres (6.562 feet) adjacent to the north, west and south lines and shall be combined with landscaping.
- b) All accessory off-street parking shall be bounded by a landscape screen of not less than 1.5 metres (4.922 feet) in width and 1 metre (3.28 feet) in height and shall be maintained at all times.

#### **221.8 Signs:**

Signs shall comply with the current City of Parksville Sign Bylaw.

#### **221.9 Refuse Removal Provisions:**

- a) a minimum of 2 garbage container spaces a minimum of 3 metres (9.844 feet) in width, 4 metres (13.13 feet) in length and enclosed on 3 sides by a solid wood

fence of not less than 2 metres (6.562 feet) in height shall be provided and sanitary disposal trucks.

**221.10 Off Street Parking Requirements:**

- a) The number of parking spaces required shall be the same as a multiple residential use pursuant to Division 400 of this Bylaw;
- b) Internal aisle ways shall be not less than 6 m (19.8 ft.) in width;
- c) All other requirements set out in Division 400 of this Bylaw shall apply.



**222 COMPREHENSIVE DEVELOPMENT****CD-2****222.1 Statement of Intent:**

Provides for the accommodation of a variety of complimentary tourist commercial facilities on a single parcel of land.

**222.2 Permitted Uses:**

The following uses and no others shall be permitted:

- a) miniature golf course;
- b) recreational building;
- c) recreational vehicle park and campground;
- d) restaurant and cafe excluding drive-in restaurant;
- e) hotel and motel;
- f) commercial entertainment including catering establishments, meeting rooms, night clubs, cabarets, pubs and other related hotel facilities contained within a principle building;
- g) accessory off-street parking;
- h) accessory off-street loading;
- i) accessory single family residential;
- j) accessory buildings (AMENDMENT BYLAW NO. 2000.78).

**222.3 Specific Use Regulations:**

- a) More than one (1) principal use shall be permitted on a parcel of land;
- b) In a recreational building referred to in Section 222.2 (b) a games room of a size no greater than 70 square metres (750 square feet) shall be permitted, such a games room to accommodate but not necessarily be limited to video machines, pool tables and card tables;
- c) Accessory single family residential use shall be:

- (i) contained within the principal building to which it is accessory;
- (ii) limited to the proprietor or caretaker of the principal use and their immediate family;
- (iii) provided with a separate outside entrance to the residential accommodation from the entrance used for the principal use.

#### **222.4 Maximum Density:**

Not more than thirty five (35) sites shall be developed in a recreational vehicle park and campground.

#### **222.5 Size, Shape and Siting of Buildings and Structures:**

a) Parcel Size

The minimum parcel size shall be 1.9 ha (4.7 acres);

b) Maximum Floor Area

- (i) the maximum floor area for a recreational building use shall be 187 square metres (2,016 square feet);
- (ii) the maximum floor area for an accessory single family residential use shall be 187 square metres (2,016 square feet).

c) Lot Coverage

All buildings and structures together shall not exceed a lot coverage of 75%.

d) Height

All buildings and structures shall not exceed a height of 12.2 metres (40 feet).

e) Setbacks

All building and structures shall be located not less than:

- (i) 6 metres (19.69 feet) from a front, rear or exterior side lot line;
- (ii) 4 metres (13.13 feet) from an interior side lot line;
- (iii) 15 metres (49.2 feet) from a lot line that is adjacent to Parksville Bay.

**222.6 Open Site Area Requirements:**

Not less than 10% of the area of a total parcel of land shall be used as open site area.

**222.7 Landscaping Provisions:**

- a) Accessory off-street parking areas shall be bounded on all sides adjacent to a street or a lot line by a landscape screen of not less than 1 metre (3.281 feet) in width and 1 metre (3.281 feet) in height, except for points of access and egress;
- b) Any outdoor storage areas shall be enclosed by a landscape screen of not less than 2 metres (6.562 feet) in height;
- c) Those portions of a lot not covered by buildings, structures, parking areas, aisles, driveways or sidewalks, shall be fully landscaped and the landscaping maintained at all times.

**222.8 Signs:**

Signs shall comply with the current City of Parksville Sign Bylaw.

**222.9 Off-Street Parking Requirements:**

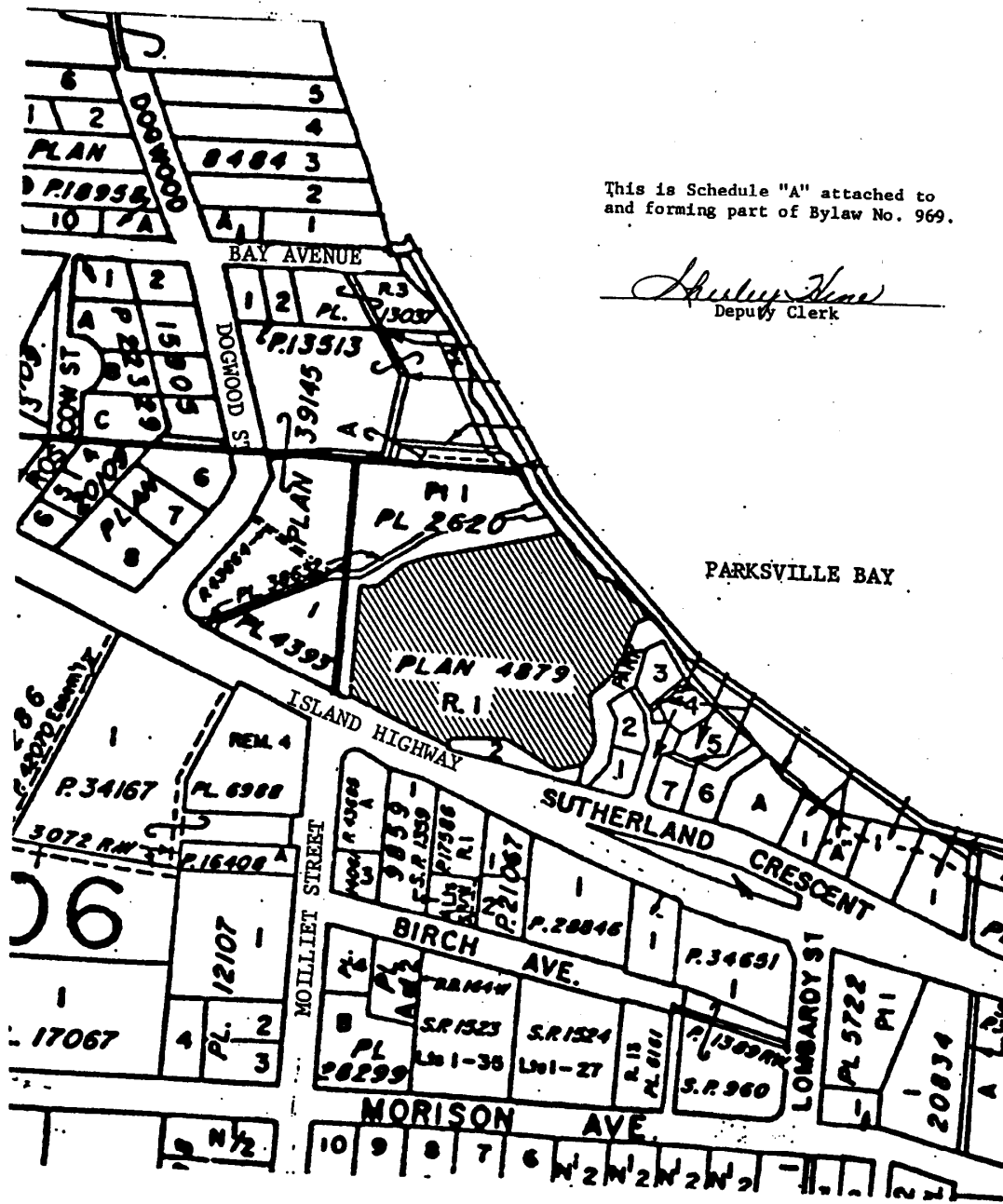
Off-street parking shall be provided according to Division 400 of this Bylaw.

**222.10 Off-Street Loading Requirements:**

- a) Off-street loading requirements shall comply with Division 400 of this Bylaw;
- b) Each loading space shall be separate from any required parking spaces and shall not interfere with or block any access to the site or to parking spaces.

**222.11 Refuse Removal Provisions:**

Not less than one (1) garbage container space that is a minimum of 3 metres (9.844 feet) in length and 1.5 metres (4.921 feet) in width shall be provided for each lot used by a permitted use.



This is Schedule "A" attached to  
and forming part of Bylaw No. 969.

*Hester Hines*  
Deputy Clerk

**223 COMPREHENSIVE DEVELOPMENT****CD-3****223.1 Statement of Intent:**

Provides for innovative higher density residential development.

**223.2 Permitted Uses:**

The following uses and no others shall be permitted:

- a) townhouse;
- b) accessory recreational building;
- c) Home Based Business (AMENDMENT BYLAW NO. 2000.78);
- d) accessory off-street parking;

**223.3 Specific Use Regulations:****223.4 Maximum Density:**

- a) The maximum number of dwelling unit shall not exceed 36.
- b) One (1) building shall be permitted for accessory recreational purposes.

**223.5 Size, Shape and Siting of Buildings and Structures:****a) Parcel Size**

The minimum parcel size shall be 1.6 ha (4 acres).

**b) Maximum Floor Area**

- (i) the maximum floor area for four (4) dwelling units shall not exceed 135 m<sup>2</sup> (1,453.2 sq. ft.) per unit;
- (ii) the maximum floor area for nine (9) dwelling units shall not exceed 133.5m<sup>2</sup> (1,437 sq. ft.) per unit;
- (iii) the maximum floor area for thirteen (13) dwelling units shall not exceed 151.3 m<sup>2</sup> (1,628 sq. ft.) per unit;

- (iv) the maximum floor area for six (6) dwelling units shall not exceed 100 m<sup>2</sup> (1,076.4 sq. ft.) per unit;
- (v) the maximum floor area for five (5) dwelling units shall not exceed 103 m<sup>2</sup> (1,108.7 sq. ft.) per unit.

c) Lot Coverage

Buildings and structures shall not exceed a lot coverage of thirty per cent (30%).

d) Height

A maximum of thirty six (36) dwelling units contained within eight (8) principal buildings shall not exceed a height of 6.0 metres (19.7 ft.).

e) Setbacks

Principal buildings shall be a minimum of:

- (i) 11.5 metres (38 ft.) from a Provincial Highway;
- (ii) 4.8 metres (16 ft.) from Brice Avenue;
- (iii) 6.09 metres (20 ft.) from all other lot lines.

f) Accessory Buildings and Structures

- (i) a maximum of one (1) building for an accessory recreation use shall:
  - (aa) not exceed 20 m<sup>2</sup> (215.3 sq. ft.) in floor area;
  - (bb) be a minimum of 20 metres (65.6 ft.) from a Provincial Highway;
  - (cc) be a minimum of 6.1 metres (20.0 ft.) from all other lot lines;
  - (dd) be a maximum of 4.3 metres (14.1 ft.) in height.
- (ii) three (3) additional structures for the purpose of housing utilities may be permitted and be a minimum of 6 metres (19.7 ft.) from any street and 2.5 metres (8.2 ft.) from any lot line.

**223.6 Open Site Area Requirements:**

- a) The minimum open site area requirement is 35% of the total site.
- b) Each dwelling unit shall be provided with private outdoor space a minimum of 18.6 m<sup>2</sup> (200.2 sq. ft.) in area.

**223.7 Landscaping Provisions:**

All open space areas shall be landscaped.

**223.8 Signs:**

A maximum of two (2) identification signs, not to exceed 1 m<sup>2</sup> (10.76 sq. ft.) in size each, shall be permitted.

**223.9 Refuse Removal Provisions:**

Refuse provisions shall be provided for each dwelling unit.

**223.10 Off-Street Parking requirements:**

- a) The number of parking spaces required shall be the same as a multiple residential use pursuant to Division 400 of this Bylaw.
- b) Internal aisle ways shall be not less than 6.1 metres (20 ft.) and not more than 7.9 metres (26 ft.).
- c) All other requirements set out in Division 400 of this Bylaw shall apply.



**224 COMPREHENSIVE DEVELOPMENT****CD-4****224.1 Statement of Intent:**

Provides for innovative higher density residential development.

**224.2 Permitted Uses:**

The following uses and no others shall be permitted:

- a) townhouse;
- b) accessory recreational building;
- c) Home Based Business (AMENDMENT BYLAW NO. 2000.78);
- d) accessory off-street parking.

**224.3 Specific Use Regulation:****224.4 Maximum Density:**

- a) The maximum number of dwelling units shall not exceed forty (40).
- b) One (1) building shall be permitted for accessory recreational purposes.

**224.5 Siting, Shape and Size of Buildings and Structures:****a) Siting of Buildings**

All buildings and structures shall be sited in conformity with the "Site Plan" attached as Schedule "B".

**b) Maximum Floor Area**

- (i) the maximum floor area for thirty two (32) dwelling units shall not exceed 120 m<sup>2</sup> (1,291.7 sq. ft.) per unit.
- (ii) the maximum floor area for eight (8) dwelling units shall not exceed 160 m<sup>2</sup> (1,722.3 sq. ft.) per unit.
- (iii) the maximum floor area for the assembly building shall not exceed 120 m<sup>2</sup> (1,291.7 sq. ft.).

c) Shape of Buildings

The design of all buildings and structures shall conform to the elevations as shown on the attached Schedule "C".

d) Lot Coverage

Buildings and structures shall not exceed a lot coverage of thirty percent (30%).

**224.6 Open Site Area Requirements:**

- a) The minimum open site area requirement is 35% of the total site.
- b) Each dwelling unit shall be provided with private outdoor space a minimum of 18.6 m<sup>2</sup> (200.2 sq. ft.) in area.

**224.7 Landscaping Provisions:**

All open space areas shall be landscaped.

**224.8 Signs:**

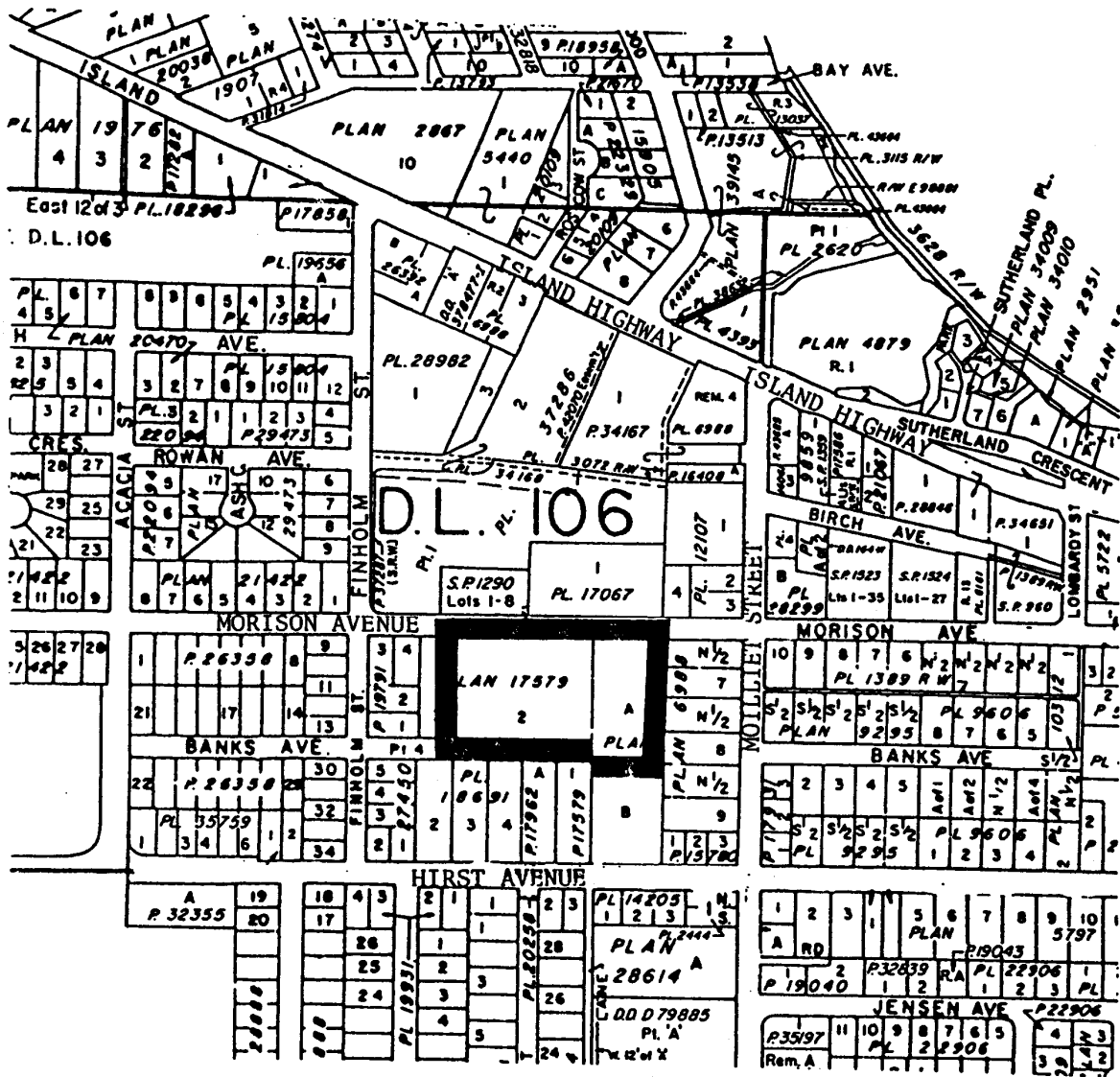
One (1) identification sign not to exceed 4 m<sup>2</sup> (43.04 sq. ft.) in size shall be permitted.

**224.9 Refuse Removal Provisions:**

Refuse provisions shall be provided for each dwelling unit.

**224.10 Off-Street Parking Requirements:**

- a) The number of parking spaces required shall be the same as a multiple residential use pursuant to Division 400 of this Bylaw.
- b) Internal aisle ways shall be not less than 6.1 metres (20 ft.) and not more than 7.9 metres (26 ft.).
- c) All other requirements set out in Division 400 of this Bylaw shall apply.

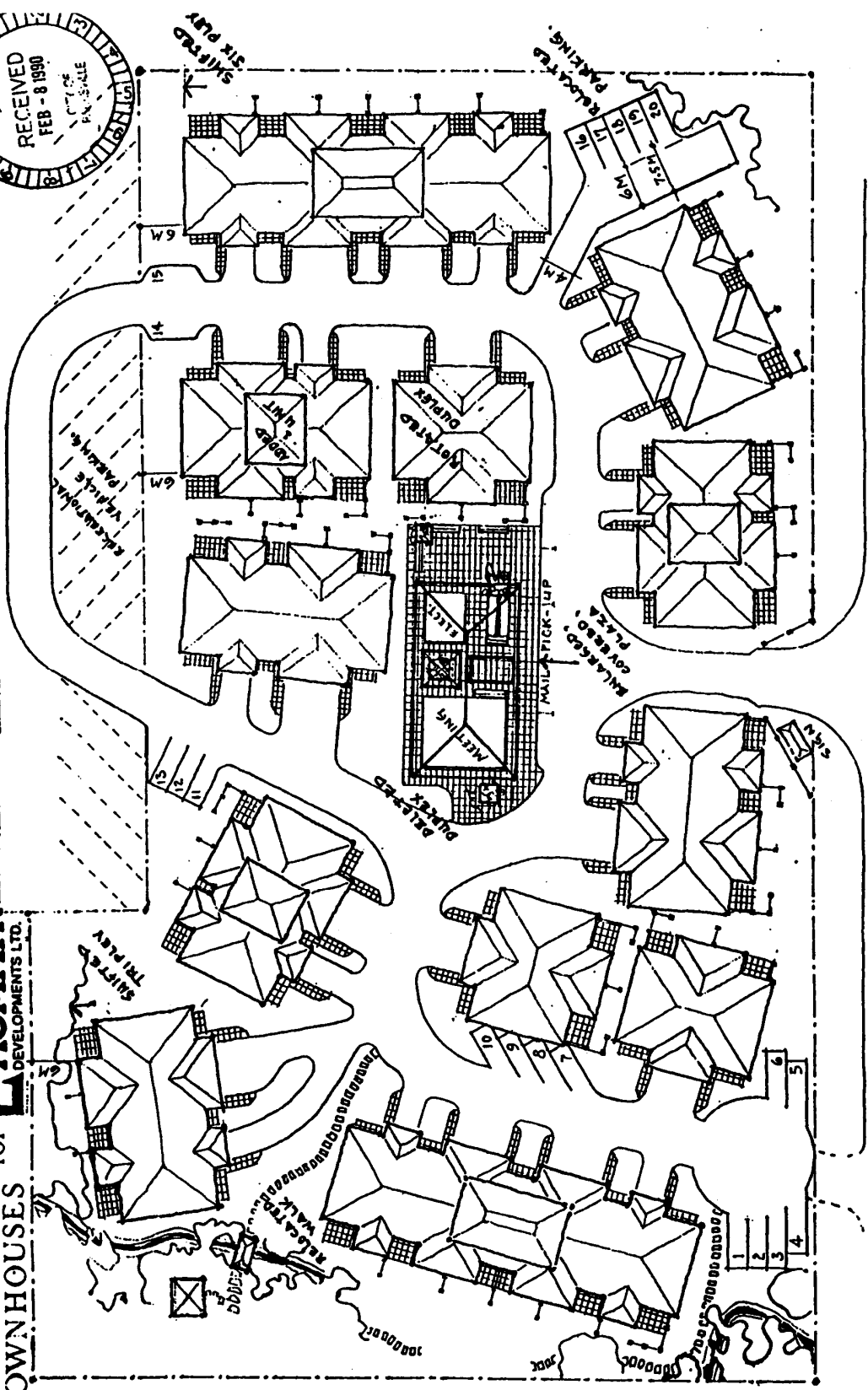


This is Schedule "A" attached to and forming part of Bylaw No. 1000.

*Shirley Anne*  
Deputy Clerk

RECEIVED  
FEB - 8 1990  
CITY OF  
VANCOUVER

KAKASVILLE for **LASMAN**  
DEVELOPMENTS LTD.  
TOWNHOUSES



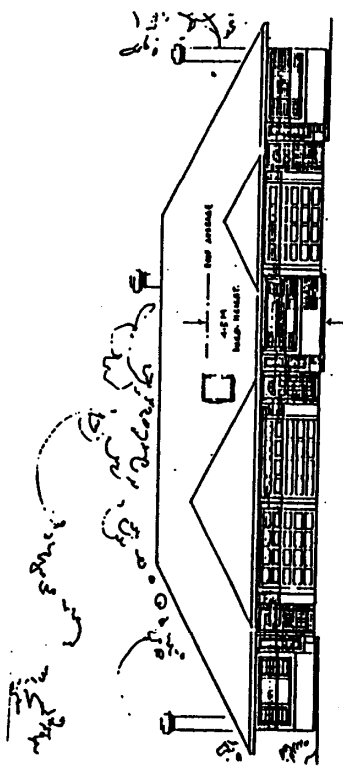
REVISION 1 OF FEBRUARY 1990  
SITE PLAN 1:500

MORISON AVENUE

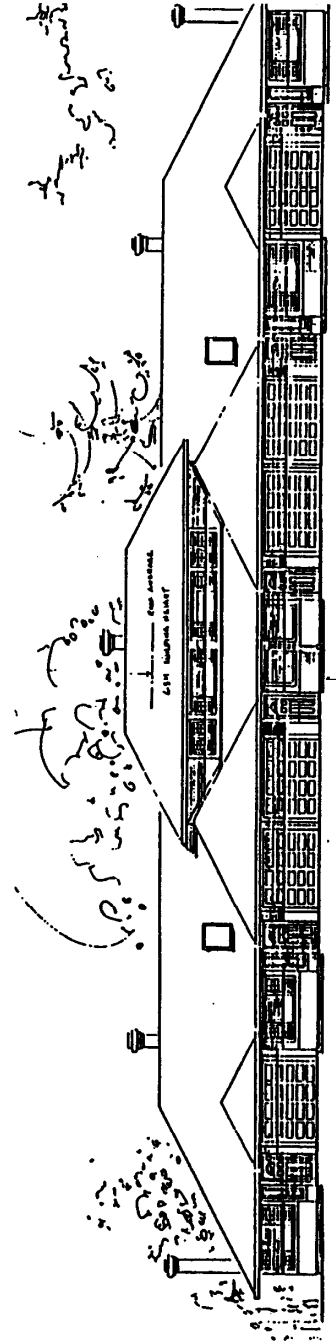
**DAVE N. SPEARING & ASSOCIATES** ARCHITECTS

This is Schedule "B" attached to  
and forming part of Bylaw No. 1000.

*Shirley Stone*  
Deputy Clerk



ELEVATION 3 UNIT GROUP, 3 SINGLE STOREY, FLOOR AREA 102 M<sup>2</sup> TO 120 M<sup>2</sup>



ELEVATION 4 UNIT GROUP, 4 SINGLE STOREY, FLOOR AREA 102 M<sup>2</sup> TO 120 M<sup>2</sup> PLUS 2 DOUBLE STOREY, FLOOR AREA 120 M<sup>2</sup>

**CASMAN**  
DEVELOPMENTS LTD.

**DAVID N. SPEARING & ASSOCIATES**  
ARCHITECTS

This is Schedule "C" attached to and forming part of Bylaw No. 1000.

*Shulep Hani*  
Deputy Clerk

3. Multiple family residential shall not be the predominant use adjacent to the waterfront lot line for the site for a distance of more than 30% of that lot line.
4. No one retail store shall exceed 500 square metres.

#### **248.4 Minimum Building Setbacks:**

1. The following setbacks are applicable to the site, prior to subdivision.
  - (1). The minimum setback from a front lot line shall be 3 metres.
    - (i) Despite the above, where the front lot line abuts Highway 19A the maximum setback shall be 7.5 metres.
  - (2). The minimum setback from the exterior lot line shall be 0 metres.
    - (i) Despite the above, where the exterior lot line abuts Highway 19A the maximum setback shall be 7.5 metres.
  - (3). The minimum setback from an interior lot line shall be 3 metres.
  - (4). The minimum setback from the rear lot line shall be 3 metres.
  - (5). The minimum setback from the lot line adjacent to the waterfront lot line shall be 25 metres.

#### **248.5 Maximum Building Height**

The maximum building height shall be 39 metres.

#### **248.6 Maximum Site Coverage:**

The maximum site coverage is 50%.

#### **248.7 Maximum Site Floor Area Ratio:**

The maximum site floor area ratio is 1.1:1.

#### **248.8 Landscaping and Screening:**

Landscaping and screening shall comply with the requirements contained in Division 500 of this bylaw.

#### **248.9 Off-Street Parking and Loading**

Off-street parking and loading shall be provided according to Division 400 of this bylaw.